

1 CITY OF SANTA FE, NEW MEXICO

2 ORDINANCE NO. 2022-1

3
4
5 AN ORDINANCE

6 AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SANTA FE AND
7 CHANGING THE CLASSIFICATION FROM R-5 (RESIDENTIAL – FIVE DWELLING
8 UNITS PER ACRE) TO R-7 (RESIDENTIAL – SEVEN DWELLING UNITS PER ACRE)
9 WITH RESPECT TO A CERTAIN PARCEL OF LAND COMPRISING
10 APPROXIMATELY 2.01 ACRES LOCATED AT 2190 WEST ALAMEDA STREET (CASE
11 NO. 2021-4244, 2190 WEST ALAMEDA STREET LOS CANALES REZONING).

12
13 BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF SANTA FE:

14 Section 1. The following real property (the “Property”) located within the municipal
15 boundaries of the City of Santa Fe, which has been restricted and classified as R-5 (Residential –
16 five dwelling units per acre) is hereby restricted to and reclassified as R-7 (Residential – seven
17 dwelling units per acre):

18 Tract A, the parcel of land comprising approximately 2.01 acres generally located at 2190
19 West Alameda Street, lying within Section 27, T17N, R9E, N.M.P.M., Santa Fe County,
20 New Mexico, more fully described in the Legal Description attached as Exhibit A and
21 incorporated herein by reference.

22 Section 2. The official zoning map of the City of Santa Fe adopted by Ordinance No.
23 2001-27 is hereby amended to conform to the change in zoning classification for the Property
24 described in Section 1 of this Ordinance.

25 PASSED, APPROVED, and ADOPTED this 26TH day of January, 2022.

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ALAN WEBBER, MAYOR

ATTEST:



KRISTINE MIHELIC, CITY CLERK

APPROVED AS TO FORM:



ERIN K. McSHERRY, CITY ATTORNEY

Bill No. 2202-1

Legislation/2022/Ordinances/2022-1 Alameda Street Los Canales Rezoning


EXHIBIT A

LEGAL DESCRIPTION OF TRACT A

A CERTAIN TRACT OF LAND LYING WITHIN SECTION 27, T.17N.,R.9E., N.M.P.M., SANTA FE COUNTY, NEW MEXICO. AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE TRACT HEREON DESCRIBED FROM WHENCE A 1933 U.S.G.L.O.S. BRASS CAP MARKING A 3-1/2 MILE CORNER ON THE WEST BOUNDARY OF THE GRANT BEARS N88°48'06"W, 762.08' DISTANT; THENCE FROM SAID POINT AND PLACE OF BEGINNING AND NORTHEAST ALONG THE SOUTHERN EDGE OF THE WEST ALAMEDA RIGHT-OF-WAY N63°59'40"E, 99.79'; THENCE 44.51' ALONG A 520.00' RADIUS CURVE TO THE LEFT HAVING A CHORD OF N57°44'34"E, 44.50' AND A CENTRAL ANGLE OF 4°54'16" TO THE NORTHEAST CORNER OF THE TRACT HEREON DESCRIBED; THENCE LEAVING SAID RIGHT-OF-WAY ON S18°50'59"E, 655.74' TO THE SOUTHEAST CORNER OF THE TRACT HEREON DESCRIBED; THENCE S56°55'29"W, 126.47' ALONG THE SANTA FE RIVER TO THE SOUTHWEST CORNER OF THE TRACT HEREON DESCRIBED; THENCE LEAVING THE RIVER ON N20°32'57"W, 664.36' TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 2.01 ACRES± AND AS MORE FULLY SHOWN AS TRACT A ON PLAT ENTITLED "BOUNDARY SURVEY FOR HOMEWISE OF TRACT A 2.01AC.±" AS RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 874, PG. 35,



RICHARD A. CHATROOP 11/10/21
N.M.P.L.S. #11011





Land Use Department Planning Commission Staff Report

Case No: 2021-4244 and 2021-4245
Hearing Date: November 4, 2021
Applicant: Homewise, Inc.
Request: R-7 Rezoning and Final Development Plan
Location: 2190 West Alameda Street
Case Mgr.: Lee Logston
Zoning: R-5 (Residential- five dwelling units per acre)
Overlay: West Santa Fe River Corridor Overlay District
Pre-app Mtg: June 10, 2021
ENN Mtg: July 22, 2021
Proposal: 14 dwelling units on approximately 2.01 acres



Site Map

Case #2021-4244. 2190 West Alameda Street Los Canales Rezoning. JenkinsGavin, Inc., Agent, for Homewise, Owner, requests approval of a rezoning from R-5 (Residential – five dwelling units per acre) to R-7 (Residential – seven dwelling units per acre) for a property located at 2190 West Alameda Street. The property is located within the West Santa Fe River Corridor Overlay District, and is approximately 2.01 acres. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136).

Case #2021-4245. 2190 West Alameda Street Los Canales Final Development Plan. JenkinsGavin, Inc., Agent, for Homewise, Owner, requests approval of a final development plan for fourteen residential units for a property located at 2190 West Alameda Street. The property is located within the West Santa Fe River Corridor Overlay District, and is approximately 2.01 acres. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136).

EXHIBIT B

I. RECOMMENDATION:

The Commission should **RECOMMEND APPROVAL BY THE GOVERNING BODY** of the rezoning to R-7 (Case #2021-4244)

The Commission should **RECOMMEND APPROVAL BY THE GOVERNING BODY** of the final development plan (Case #2021-4245), subject to conditions of approval and technical corrections outlined in this report, and subject to Governing Body approval of the rezoning request.

A recommendation for **denial** of the rezoning request would render the proposed final development plan infeasible, in which case a **recommendation for denial of the final development plan would be appropriate.**

Four motions will be required, in the following order, for this case:

- *Recommend the Governing Body approve or deny the Rezoning (Case #2021-4244).*
- *Recommend the Governing Body approve or deny the Final Development Plan (Case #2021-4245), subject to the conditions of approval and technical corrections recommended by staff.*
- *Approve or deny the Findings of Fact and Conclusions of Law for Case #2021-4244 (Exhibit A(1)).*
- *Approve or deny the Findings of Fact and Conclusions of Law for Case #2021-4245 (Exhibit A(2)).*

II. CONDITIONS OF APPROVAL

Staff recommends the following conditions of approval for **the preliminary development plan** (Case #2021-4245).

#	Condition of Approval	Dept. or Division	To be completed:
1	The drainage report needs to summarize how much storage is required to meet the required reduction in flow to predevelopment levels. The narrative must also state where required storage volume will be provided. Locations and volumes of storage areas must be detailed in report.	Land Use/Terrain Management	Prior to Recordation
2	Show downspout locations on buildings and how water will be directed to ponding or landscaped areas.	Land Use/Terrain Management	Prior to Recordation
3	Label all ponding areas on Grading and Drainage sheets and show volumes detained/retained in each area. If landscaped areas are used for ponding volume requirements, label those volumes in each area.	Land Use/Terrain Management	Prior to Recordation
4	The energy dissipator will require minimum of 5' fencing to protect from anyone	Land Use/Terrain Management	Prior to Recordation

EXHIBIT B

	entering the deep water.		
5	Detail erosion protection at exit of energy dissipator.	Land Use/Terrain Management	Prior to Recordation
6	Include detail of check dam	Land Use/Terrain Management	Prior to Recordation
7	An approved Water Plan from the Water Division will be required. Water Plan comments will be submitted to the design engineer.	Public Utilities/Water	Prior to Recordation
8	Provide a 25' wide public sewer and waterline easement across southern portion of property. Utilize the existing sewer easement running parallel to the Santa Fe River and widen by 5 feet on south side of property.	Public Utilities/Water	Prior to Recordation
9	Extend the 6" water main along the southern boundary of the development to allow for looping for future developments to the west.	Public Utilities/Water	Prior to Recordation
10	Shall Meet all applicable ADA requirements (see comment form).	Land Use/ADA Site	Prior to Recordation

Following standard practice, redline comments will be provided to the surveyor who shall make any necessary changes to comply with technical corrections, and submit the corrected development in Mylar. The "technical corrections" that must be made to the development plan prior to recordation are listed in Exhibit B(1).

III. EXECUTIVE SUMMARY:

The subject property currently consists of nine dwelling units on two acres. There are three detached homes, a duplex, and a four-plex, in addition to a variety of sheds and other accessory structures. The Applicant is requesting a rezoning from R-5 (Residential- five dwelling units per acre) to R-7 (Residential- seven dwelling units per acre), which requires the concurrent submittal of a development plan. The development plan proposes the construction of two new buildings to house five new dwellings, for a total of fourteen dwelling units. Planned site improvements include driveway improvements, creation of formal parking spaces, construction of sidewalks and a pedestrian connection to the Santa Fe River Greenway Trail, and drainage upgrades. Three of the existing homes (20%) will be renovated and sold as affordable units in compliance with the Santa Fe Homes Program (SFHP) requirements. A private grant will allow the Applicant to achieve affordability of up to 50% of the homes within the development.

The R-7 rezoning is necessary to develop the property at the proposed density, and the development plan is triggered by the rezoning request per SFCC Subsection 14-4.2(E)(2). The development plan seeks to establish custom setbacks as allowed in the R-7 zone per SFCC Table 14-7.2-1, Table of Dimensional Standards for Residential Districts.

EXHIBIT B

IV. EXISTING CONDITIONS

The subject property is located on the south side of West Alameda Street near Calle Nopal, directly adjacent to the recently constructed Alameda Lofts complex. The property spans from West Alameda Street to the Santa Fe River Greenway Trail to the south. Properties to the north are zoned R-1 (Residential- one dwelling unit per acre), but all other surrounding properties are zoned R-5 (Residential- five dwelling units per acre) with the exception of the Alameda Lofts, which are zoned R-7 (Residential- seven dwelling units per acre). The property is located in the Rio Vista Area of the West Santa Fe River Corridor Overlay District.

V. REZONE APPROVAL CRITERIA – R-5 to R-7

The Applicant requests a rezoning to R-7 (Residential- seven dwelling units per acre). The purpose of R-7 zoning, per SFCC Section 14-2.2(E), is *to allow for a greater intensity of residential land use, to encourage infill development on underdeveloped land, and to allow a housing density that enables affordability.*

The Planning Commission and the Governing Body shall review all rezoning proposals on the basis of the criteria provided in this section, and the Planning Commission and the Governing Body must make complete findings of fact sufficient to show that these criteria have been met before recommending or approving any rezoning:

<p>Criterion 1 [14-3.5(C)(1)(a)]: one or more of the following conditions exist:</p> <ul style="list-style-type: none"> (i) there was a mistake in the original zoning; (ii) there has been a change in the surrounding area, altering the character of the neighborhood to such an extent as to justify changing the zoning; (iii) a different use category is more advantageous to the community, as articulated in the General Plan or other adopted city plans; 	<p>Criterion Met: (Yes/No) YES</p>
<ul style="list-style-type: none"> (i) Not applicable (ii) Not applicable (iii) The project is located within the Rio Vista Area of the West Santa Fe River Corridor Overlay Zoning District, as described in the West Santa Fe River Corridor Plan (adopted December 2017). The Plan describes this sub-area as being a transitional area between more compact and urban densities to the east and more open and rural densities to the west. In addition, due to the availability of City water and sewer infrastructure in this area, the Plan recommends R-5 and R-7 zoning densities. The proposed rezoning of the property from R-5 to R-7 is consistent with the types of future development anticipated and encouraged in this area of the Overlay District. It is more advantageous to the community because it allows for the efficient use of public infrastructure, an increase in much-needed housing supply, and the creation of new affordable housing. Furthermore, as previously stated, the intent of the proposed rezoning aligns well with the purpose of the R-7 district, per SFCC Subsection 14-2.2(E), which is to allow for a greater intensity of residential land use, to encourage infill development 	

EXHIBIT B

on underdeveloped land, and to allow a housing density that enables affordability.	
Criterion 2 [14-3.5(C)(1)(b)]: all the rezoning requirements of Chapter 14 have been met;	Criterion Met: (Yes/No) YES
The Applicants have met the Chapter 14 procedural requirements for re-zoning, including holding an Early Neighborhood Notification Meeting, posting and mailing of notification requirements, and submitting required application submittals including a Traffic Impact Analysis. The Applicant is not requesting any variances, but does seek to establish custom setbacks with the development plan	
Criterion 3 [14-3.5(C)(1)(c)]: the rezoning is consistent with the applicable policies of the General Plan, including the future land use map;	Criterion Met: (Yes/No) YES
The proposed rezoning and redevelopment program supports General Plan themes of Affordable Housing, Sustainable Growth, and Character, respecting the evolution of land use patterns while preserving community character, efficiently utilizing infrastructure through infill development, and responding to Santa Fe’s substantial housing demand. The proposal is also consistent with General Plan principles calling for the Protection of Natural Resources, Network of Open Space, Respect for Traditional Communities, and Corridor Protection between Urban and Rural Uses. The Future Land Use Map designation for the parcel is 3-7 dwellings per acre, which supports the proposed R-7 zoning.	
Criterion 4 [14-3.5(C)(1)(d)]: the amount of land proposed for rezoning and the proposed use for the land is consistent with city policies regarding the provision of urban land sufficient to meet the amount, rate and geographic location of the growth of the city;	Criterion Met: (Yes/No) YES
General Plan Figure 4-4, Urban Sub-Areas, designates the subject property and surrounding area as an “Infill Area.” The Growth Management Chapter of the General Plan specifically calls for prioritization of infill development in Santa Fe in order to maximize the efficient use of public infrastructure, while meeting the demand for urban land for development and directing new growth towards the historic core of the city rather than on the undeveloped fringes. The proposed infill project is in alignment with these strategic directives.	
Criterion 5 [14-3.5(C)(1)(e)]: the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the proposed development.	Criterion Met: (Yes/No) YES
The site is served by existing roadways, public water, and public sewer infrastructure. In addition, the site is adjacent to the Santa Fe River Greenway Trail, providing access to the City’s network of urban trails and open space. The addition of five new dwellings on the property will have minimal impacts on the existing infrastructure, and proposed site improvements will compliment and enhance the adjacent public facilities.	
Criterion 6 [14-3.5(C)(2)]: Unless the proposed change is consistent with applicable General Plan policies, the planning commission and the governing body shall not recommend or approve any rezoning, the practical effect of which is to: (a) allow uses or a change in character significantly different from or inconsistent with the prevailing use and character in	Criterion Met: (Yes/No) YES

EXHIBIT B

<p>the area; (b) affect an area of less than two acres, unless adjusting boundaries between districts; (c) or benefit one or a few landowners at the expense of the surrounding landowners or general public.</p>	
<p>(a) The proposed project is a model of the type of infill development that both the General Plan and the West Santa Fe River Corridor Plan specifically encourage. It represents a minimal increase in density following traditional Santa Fe acequia development style. (b) Not applicable because the property is just over two acres, but this is a zoning boundary adjustment. (c) The proposed project aligns well with numerous General Plan policies and principles, as addressed above. Further, it is a model of the type of infill development that both the General Plan and the West Santa Fe River Corridor Plan specifically encourage.</p>	
<p>Criterion 7 [14-3.5(D)(1)]: If the impacts of the proposed development or rezoning cannot be accommodated by the existing infrastructure and public facilities, the city may require the developer to participate wholly or in part in the cost of construction of off-site facilities in conformance with any applicable city ordinances, regulations or policies;</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The impacts of the proposed rezoning and development of five additional new dwellings will be minimal and easily accommodated by existing infrastructure and public facilities.</p>	
<p>Criterion 8 [14-3.5(D)(2): If the proposed rezoning creates a need for additional streets, sidewalks or curbs necessitated by and attributable to the new development, the city may require the developer to contribute a proportional fair share of the cost of the expansion in addition to impact fees that may be required pursuant to Section 14-8.14.</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>No new streets will be needed as a result of the rezoning, and a new sidewalk will be constructed along West Alameda Street as required by the West Santa Fe River Corridor Plan.</p>	

VI. PROJECT ANALYSIS: DEVELOPMENT PLAN

Project Description

There are currently nine dwelling units on the two-acre property, comprised of three detached homes, a duplex, and a four-plex, in addition to a variety of sheds and other accessory structures. If granted the rezoning request, the Applicant intends to construct two new buildings that would house five additional dwelling units. The Applicant intends to establish a condominium regime to create opportunities for home ownership. Homewise will renovate three of the existing homes (20%) to be sold as affordable homes in compliance with the Santa Fe Homes Program requirements. Furthermore, through a private grant, Homewise hopes to achieve affordability of up to 50% of the homes within the development. The driveway connection to West Alameda Street will be improved, parking will be improved, and drainage upgrades will be made through the development.

Per Table 14-7.2-1, setbacks in the requested R-7 district are established by an approved development plan, with the Alameda Street setback specified by the West Santa Fe River Corridor Overlay. The

EXHIBIT B

proposed setbacks for the property are:

Alameda Street Setback: 50 feet

Private Drive Setback: 2 feet for existing structures / 5 feet for new structures

Rear Yard Setback: 10 feet

With a total roofed area of 15,916 square feet, the total proposed lot coverage for the development is 18%, well below the allowable maximum of 40%. For developments with a density of five dwellings per acre or greater within the West Santa Fe River Corridor Overlay District, 13.9% of the land area of the subject property (12,191 square feet) has been reserved as Common Open Space in accordance with Overlay standards.

Access and Traffic

Because the majority of the dwelling units in the project already exist, a Traffic Impact Analysis was not required. Improvements on West Alameda Street include five-foot concrete sidewalk behind the existing guardrail. This will extend the sidewalk created by the construction of Alameda Lofts approximately 150 feet further west on Alameda Street.

Access is via a private driveway on West Alameda Street. The construction of retaining walls will allow this access to be extended south, re-graded and re-surfaced in order to increase safety and driver visibility when exiting the development. A 25-foot wide private drive serves as a shared access and utility easement. All roadway maintenance will be the responsibility of a new condominium owner's association. A five-foot sidewalk along one side of the private drive will create a pedestrian connection to the Santa Fe River Greenway.

Parking, Landscaping and Lighting

Per SFCC Table 14-8.6-1, two parking spaces are required for each residential unit. The total required parking for the proposed 14-unit development is 28 spaces, with 30 spaces provided along the access driveway. New landscaping and site lighting is not proposed, as the preservation of neighborhood character and existing mature, native vegetation is a top priority.

Grading and Drainage/Terrain Management

The site generally slopes from north to south, with steep grades from West Alameda Street down to the buildable area of the site. The private driveway off West Alameda will be rebuilt, and retaining walls installed in order to create reasonable driveway, parking, and sidewalk grades. Passive water harvesting will be employed in open areas around buildings, and preservation of existing mature vegetation will be prioritized.

The limits of the 100-year floodplain associated with the Santa Fe River extend into the southern part of the site, but fall outside of the existing and proposed development. Flood hazards are not increased by the proposed development. The 10-foot wide drainage easement that runs along the western boundary of the property will be reconstructed and rock-lined to better convey storm water and reduce velocity of runoff on the sloped site. A retaining wall and check dams will be constructed along the western edge at the property boundary to slow the flow of water and allow for infiltration. The existing detention pond at the end of the drainage swale, near the southwest corner of the property, will be expanded to capture increased runoff resulting from new impervious area.

EXHIBIT B

Fire Prevention and Emergency Access

Emergency access requirements are satisfied by the provision of a 20-ft wide driveway and hammerhead turnaround. A fire hydrant is located on the property, and there are additional hydrants in close proximity on West Alameda Street.

Water and Sewer

The site is served by existing City water and sewer infrastructure. Five new dwellings are proposed with the Application, and these will create new water demand as follows:

$$\text{New Indoor Residential Water Demand} = 0.16 \text{ AFY/DU} \times 5 \text{ DU} = 0.8 \text{ AFY}$$

Water demand offset fees will be paid upon issuance of building permits for the five proposed dwellings. The Water Division is requiring the Applicant to extend the existing 6" water main west along the southern boundary of the property in order to allow for future looping for new development that may occur to the west. This looping will provide for increased water flow.

Impact on Schools

As the proposed development will only add five new dwelling units to the existing site, it was not necessary to notify Santa Fe Public Schools per SFCC Subsection 14-8.16(B)(1).

Santa Fe HOMES Program

In accordance with the current provisions of the Santa Fe Homes Program (SFHP), the Project will provide three affordable homes (20%) – one unit in each income range: 50-65% AMI, 66-80% AMI, 81-100% AMI. Additionally, Homewise has received a private donation to support increased housing affordability for the project, which is projected to benefit 50% of the fourteen units at affordable pricing for Santa Fe.

The project will utilize the 15% density bonus for the provision of affordable housing in compliance with the SFHP. The calculation is as follows:

$$\text{Gross Lot Area} = 2.01 \text{ acres}$$

$$\text{Floodway Area} = 0.21 \text{ acres (9,381 sq.ft.)}$$

$$\text{Net Lot Area} = 1.79 \text{ acres}$$

$$\text{Base Density} = 1.79 \text{ acres} \times 7 \text{ dwelling units/acre} = 12.53 \text{ dwelling units}$$

$$\text{Proposed Density} = \text{Base Density} + 15\% \text{ SFHP Density Bonus} = 14 \text{ dwelling units}$$

The signed SFHP proposal is found in Exhibit D(2).

Homeowners Association and Private Covenants

Articles of Incorporation, Bylaws, and Homeowners Association Restrictions and Covenants will be reviewed by City Staff and the City Attorney's Office prior to recordation of the development plan per SFCC 14-9.5(A)(2) and 14-8.2(K)(1).

EXHIBIT B

VII. DEVELOPMENT PLAN APPROVAL CRITERIA SECTION 14-3.8(D)(1)

SFCC Section 14-3.8 governs the authority, procedures, and restrictions for development plans. The Criteria for approval of Development Plans are detailed below:

<p>Criterion 1: that the Planning Commission has the authority and is empowered to approve the development plan under the section of Chapter 14 described in the application;</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>Santa Fe City Code (SFCC) Subsection 14-3.8(B)(2) requires a development plan for rezoning applications. Subsection 14-3.8(C)(2)(a) requires the Planning Commission to review and make a recommendation to the Governing Body regarding development plans required for rezonings.</p>	
<p>Criterion 2: that approving the development plan will not adversely affect the public interest; and</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The Governing Body has implemented the General Plan and ordinances in order to establish minimum standards for health, safety and welfare affecting land uses and developments as a means to protect the public interest. Subject to staff recommended conditions of approval, the proposed development plan would not adversely affect the public interest.</p> <p>The proposed Development Plan does not adversely impact the public interest, but rather the project will benefit the public by increasing the supply of much-needed affordable housing and creating home ownership opportunities in the area. Pedestrian connectivity is improved by extending the sidewalk along the south side of West Alameda Street and by providing a direct connection for residents to the Santa Fe River Greenway Trail. Storm water management is improved through extensive upgrades to the drainage easement along the west property boundary.</p>	
<p>Criterion 3: that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The proposed residential uses and density are compatible with adjacent uses and densities. The River Trail Lofts to the east is zoned R-7, and the property to the west is zoned R-5 as is much of the surrounding land. As stated above, the project is located within the Rio Vista Area of the West Santa Fe River Corridor Overlay Zoning District. This sub-area is intended as a transitional area between more compact urban densities to the east and rural densities to the west. Because of the presence of City water and sewer infrastructure in this area, R-5 and R-7 zoning and associated development densities are recommended for this area by both the General Plan and the West Santa Fe River Corridor Overlay.</p>	

VIII. EARLY NEIGHBORHOOD NOTIFICATION

An Early Neighborhood Notification meeting was held via Zoom on July 22, 2021. Five current residents attended. Homewise staff have continued to meet with these attendees and other residents to address questions and concerns. Discussion has included strategies to improve resident collaboration in the entitlement and development process, management of storm water, driveway improvements, creation of new parking areas, storage, construction timelines, and ideas for minimizing resident impacts, particularly in regards to renovations of occupied units.

EXHIBIT B

IX. EXPIRATION

The rezoning, if approved by the Governing Body, will run with the land, is transferrable, and will not expire.

Per SFCC Section 14-3.19(B)(4) "Approval of a final development plan, or any development plan for which no preliminary development plan was required, shall expire three years after final action approving it unless actual development of the site or offsite improvements has begun and is continued pursuant to Subsection 14-3.19(B)(6)." Therefore, should the Commission recommend approval the preliminary development plan to the Governing Body and adopt Findings of Fact and Conclusions of Law at this hearing, the expiration date would be determined by the date of their final action.

X. ATTACHMENTS:

EXHIBIT A: Draft Findings of Fact and Conclusions of Law

1. Case #2021-4244 Rezoning
2. Case #2021-4245 Development Plan

EXHIBIT B: Development Review Team Memoranda

1. Compiled Technical Corrections
2. Terrain Management & ADA Site Review
3. Fire Prevention Review
4. Water Review

EXHIBIT C: Maps and Photos

1. Future Land Use
2. Current Zoning
3. Aerial
4. Street Views

EXHIBIT D: Applicant Materials

1. Project Report
2. Santa Fe Homes Proposal
3. Select pages from West Santa Fe River Corridor Plan
4. Proposed Development Plan

APPROVED BY:

Title	Name	Initials
Acting Planning and Land Use Director	Jason Kluck	<i>jmk</i>
Land Use Planner Manager	Noah Berke, AICP	NLB
Land Use Department Case Manager	Lee Logston, AICP	<i>LL</i>

City of Santa Fe, New Mexico

**Case #2021-4244 4245
2190 W. Alameda Street Rezoning and
Final Development Plan
Planning Commission
November 4, 2021**

Exhibit A

Draft Findings of Fact and Conclusions of Law

- 1. Case #2021-4244 Rezoning**
- 2. Case #2021-4245 Final Development Plan**

EXHIBIT B

City of Santa Fe Planning Commission Findings of Fact and Conclusions of Law

Case #2021-4244

2190 W. Alameda Street; Los Canales Rezoning

Owner's/Applicant's Name- Homewise, Inc.

Agent's Name- JenkinsGavin, Inc.

THIS MATTER came before the Planning Commission (Commission) for public hearing on November 4, 2021 (Hearing) upon the application (Application) of JenkinsGavin, Inc., as agent for Homewise, Inc. (Applicant).

The Application pertains to a property located at 2190 W. Alameda Street totaling approximately 2.0 acres (Property). The Applicant requests a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential-seven dwelling units per acre).

In related Case #2021-4245, the Applicant requests final development plan approval for fourteen residential units for a property located at 2190 W. Alameda Street.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. SFCC 1987 Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987 §14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 §14-3.1(F)(2)(a)(iii)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 §14-3.1(H)-(I)].
2. A pre-application conference was held on June 10, 2021 in accordance with SFCC 1987 Section 14-3.1(E)(1).
3. Pursuant to SFCC 1987 Section 14-3.1(H), notice of the ENN meeting was properly given.
4. Pursuant to SFCC 1987 Section 14-3.1(F), a virtual ENN meeting was held on the Application on July 22, 2021. The ENN meeting was attended the Project team and City staff. Five current residents attended, and Homewise staff has continued to meet with and residents to address questions and concerns over improving resident collaboration in the entitlement and development process, storm water management, driveway improvements and new parking areas, storage needs, timeline for construction, and ideas for minimizing impact to residents.
5. City staff reviewed the rezoning Application, and the related materials and information submitted by the Applicant, for conformity with applicable SFCC requirements and provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.

EXHIBIT B

Case #2021-4244

2190 W. Alameda Street; Los Canales Rezoning

6. Staff recommended that the Commission recommend approval of the rezoning to the Governing Body.

Rezoning

1. Pursuant to SFCC 1987 Section 14-2.3(C)(7)(c) and Section 14-3.5(B)(1), the Commission has the authority to review and make recommendations to the Governing Body regarding rezonings.
2. At the Hearing, the Commission considered the Application in this case concurrently with the application in Case #2021-4245, and the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
3. Pursuant to SFCC 1987 Section 14-3.5(A)(1)(d), any person may submit a written request for rezoning, along with all submissions required by the SFCC 1987 Chapter 14 and any other information requested by the land use director as reasonably necessary to determine compliance with Chapter 14 (Submittal Requirements).
4. In this case, the Applicant seeks a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential-seven dwelling units per acre).
5. SFCC 1987 Section 14-3.5(B) sets out procedures for rezoning and requires the Commission to hold a public hearing, review the Application, and make a recommendation to the Governing Body.
6. SFCC 1987 Section 14-3.5(C) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending a rezoning.
7. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(a)(i), the Commission finds that the criterion is not applicable.
8. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(a)(ii), the Commission finds that the criterion is not applicable.
9. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(a)(iii), the Commission finds that the rezoning will be more advantageous to the community, as articulated in the West Santa Fe River Corridor Plan, which recommends residential infill densities of R-5 to R-7, allowing for the efficient use of public infrastructure, increasing much-needed housing supply, and creating new affordable housing.
10. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(b), the Commission finds that all the rezoning requirements of Chapter 14 have been met.
11. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(c), the Commission finds that the proposed rezoning is consistent with the applicable policies of the general plan regarding affordable housing, sustainable growth, and community character, respecting the evolution of land use patterns while preserving community character. The Future Land Use Map designation for the parcel is 3-7 dwellings per acre, which supports the proposed R-7 zoning.
12. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(d), the Commission finds that the property is of sufficient size for rezoning and the proposed use for the land is consistent with city policies regarding the provision of urban land sufficient to meet the amount, rate and geographic location of the growth of the city. The Growth Management Chapter of the General Plan promotes infill development of this density.

EXHIBIT B

Case #2021-4244

2190 W. Alameda Street; Los Canales Rezoning

13. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(e), the Commission finds that the existing and proposed infrastructure can be modified to accommodate the impacts of the proposed development. The site is served by existing roadways, public water, and public sewer infrastructure. In addition, the site is adjacent to the Santa Fe River Greenway Trail, providing access to the City's network of urban trails and open space.
14. Pursuant to SFCC 1987 Section 14-3.5(C)(2)(a), the Commission finds that the proposed zoning amendment will enable the construction the type of infill development that both the General Plan and the West Santa Fe River Corridor Plan specifically encourage. It represents a minimal increase in density following traditional Santa Fe acequia development style
15. Pursuant to SFCC 1987 Section 14-3.5(C)(2)(b), the Commission finds that at 2.0 acres, the proposed rezoning is over the two acre threshold, and is a zoning boundary adjustment.
16. Pursuant to SFCC 1987 Section 14-3.5(C)(2)(c), the Commission finds that the proposed rezoning will not benefit one or a few landowners at the expense of the surrounding landowners or the general public, in that the proposed project aligns well with numerous General Plan policies and principles, and is a model of the type of infill development that both the General Plan and the West Santa Fe River Corridor Plan specifically encourage.
17. Pursuant to SFCC 1987 Section 14-3.5(D)(1) & (2), the Commission finds that the proposed rezoning and density can be accommodated by the road and other infrastructure in the area.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

1. Pursuant to SFCC 1987 Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

Rezoning

1. The Applicant has the right under the SFCC to propose the rezoning of the Property.
2. The Commission has the power and authority at law and under the SFCC to review the proposed rezoning of the Property and to make recommendations regarding the proposed rezoning to the Governing Body.
3. The Applicant met the applicable Submittal Requirements.
4. The Commission should recommend approval of the requested rezoning because all applicable code requirements and criteria for recommendation of approval of the proposed rezoning have been met.

WHEREFORE, IT IS ORDERED ON THE 4th DAY OF NOVEMBER 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends that the Governing Body approve the rezoning, as requested in the Application for Case #2021-4244.

Brian Gutierrez, Chair

Date

EXHIBIT B

Case #2021-4244
2190 W. Alameda Street; Los Canales Rezoning

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Patricia Feghali
Assistant City Attorney

Date

EXHIBIT B

City of Santa Fe Planning Commission Findings of Fact and Conclusions of Law

Case #2021-4245

2190 W. Alameda Street; Los Canales Final Development Plan

Owner's/Applicant's Name- Homewise, Inc.

Agent's Name- JenkinsGavin, Inc.

THIS MATTER came before the Planning Commission (Commission) for public hearing on November 4, 2021 (Hearing) upon the application (Application) of JenkinsGavin, Inc., as agent for Homewise, Inc. (Applicant).

The Application pertains to a property located at 2190 W. Alameda Street totaling approximately 2.0 acres (Property). The Applicant requests approval of a final development plan for fourteen residential units (Project). The Property is zoned R-5 (Residential- five dwelling units per acre).

In related Case #2021-4244, the Applicant requests a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential-seven dwelling units per acre) for a property located at 2190 W. Alameda Street.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. SFCC 1987 Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987 § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 §1 4-3.1(F)(2)(a)(iv)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 § 14-3.1(H)-(I)].
2. A pre-application conference was held on June 10, 2021 in accordance with SFCC 1987 Section 14-3.1(E)(1).
3. Pursuant to SFCC 1987 Section 14-3.1(H), notice of the ENN meeting was properly given.
4. Pursuant to SFCC 1987 Section 14-3.1(F), a virtual ENN meeting was held on the Application on July 22, 2021. The ENN meeting was attended the Project team and City staff. Five current residents attended, and Homewise staff has continued to meet with and residents to address questions and concerns over improving resident collaboration in the entitlement and development process, storm water management, driveway improvements and new parking areas, storage needs, timeline for construction, and ideas for minimizing impact to residents.
5. City staff reviewed the final development plan Application, and the related materials and information submitted by the Applicant, for conformity with applicable SFCC requirements and provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.

EXHIBIT B

Case #2021-4245

2190 W. Alameda Street; Los Canales Final Development Plan

6. Staff recommended that the Commission recommend approval by the Governing Body of the final development plan, subject to Conditions and the technical corrections set forth in the Staff Report and exhibits.

Development Plan

7. Pursuant to SFCC 1987 Section 14-2.3(C)(1) and Section 14-3.8(B)(2), the Commission has the authority to review and make recommendations to the Governing Body regarding development plans required for rezonings.
8. At the Hearing, the Commission considered the Application in this case concurrently with the application in Case #2021-4244, and the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
9. Under SFCC 1987 Section 14-4.2(E)(2), a R-7 rezoning request requires consideration and approval by the Commission and the Governing Body of a development plan for the property.
10. In this case, the Applicant wishes to establish custom setbacks through the development plan to account for existing conditions.
11. SFCC 1987 Section 14-3.8 establishes certain procedures for development plan approval including, without limitation, a public hearing by the Commission and a recommendation to the Governing Body based on the criteria set out in SFCC 1987 Section 14-3.8(D).
12. SFCC 1987 Section 14-3.8(C)(1) requires the Applicant to submit plans and other documentation that demonstrates conformance with applicable provisions of the SFCC (Submittal Requirements).
13. The information contained in the Staff Report and exhibits is sufficient to establish that the Submittal Requirements have been met.
14. SFCC 1987 Section 14-3.8(D)(1) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending approval a development plan.
15. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(a), the Commission finds that it has the authority to review the development plan under SFCC 1987 Sections 14-2.3(C)(1), 14-3.8(B)(4), and Table 14-2.1-1.
16. SFCC 1987 Subsection 14-3.8(C)(2)(a) requires the Planning Commission to review and make a recommendation to the Governing Body regarding development plans required for rezonings
17. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(b), the Commission finds that the development plan will not adversely affect the public interest. The Governing Body has implemented the General Plan and ordinances to establish minimum standards for health, safety and welfare affecting land uses and developments as a means to protect the public interest. This project serves the public interest through the provision of affordable housing in a neighborhood-sensitive manner.
18. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(c), the Commission finds that the use and any associated buildings are compatible with and adaptable to buildings, structures, and uses of the abutting property and other properties in the vicinity of the premises under consideration. The River Trail Lofts to the east is zoned R-7, and the property to the west is zoned R-5 as is much of the surrounding land. The project is located within the Rio Vista Area of the West Santa Fe River Corridor Overlay Zoning District, which recommends R-7 density.

EXHIBIT B

Case #2021-4245

2190 W. Alameda Street; Los Canales Final Development Plan

- 19. Pursuant to SFCC 1987 Section 14-3.8(D)(2), the Commission “may specify conditions of approval that are necessary to accomplish the proper development of the area and to implement the policies of the general plan.”
- 20. The Commission finds that the Conditions and technical corrections set forth in the Staff Report and exhibits are necessary to accomplish the proper development of the area and to implement the policies of the general plan.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

- 1. Pursuant to SFCC 1987 Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

Development Plan

- 2. The Commission has the authority to review and make recommendations to the Governing Body regarding development plans related to rezoning requests.
- 3. The Applicant met the applicable Submittal Requirements.
- 4. The Commission should recommend approval of the requested final development plan, subject to the conditions and technical corrections recommended by staff, because all applicable code requirements and criteria for recommendation of approval of the proposed final development plan have been met.

WHEREFORE, IT IS ORDERED ON THE 4th DAY OF NOVEMBER 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends that the Governing Body approve the final development plan for the Property, as requested in the Application for Case #2021-4245, subject to the Conditions and the technical corrections set forth in the Staff Report and exhibits. The final development plan shall expire three years after issuance of Governing Body approval per SFCC 1987 Section 14-3.19(B)(4) unless actual development of the site or off-site improvements has begun and is continued pursuant to SFCC Section 14-3.19(B)(6).

Brian Gutierrez, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

EXHIBIT B

Case #2021-4245

2190 W. Alameda Street; Los Canales Final Development Plan

APPROVED AS TO FORM:

Patricia Feghali
Assistant City Attorney

Date

City of Santa Fe, New Mexico

**Case #2021-4244 4245
2190 W. Alameda Street Rezoning and
Final Development Plan
Planning Commission
November 4, 2021**

Exhibit B

Development Review Team

- 1. Compiled Technical Corrections**
- 2. Terrain Management & ADA Site Review**
- 3. Fire Prevention Review**
- 4. Water Review**

EXHIBIT B

EXHIBIT B1
 Technical Corrections
 Case #2021-4244 4245
 2190 W. Alameda Street Los Canales Final Development Plan

TECHNICAL CORRECTIONS	Department	Staff
<ol style="list-style-type: none"> ADA accessible route from the street does not appear to meet the required maximum running slope of the walking surfaces. Multi-family developments must comply with the maximum 1:20 running slope. ADA note on sheet 6-6 states the running slopes shall not exceed 5% without handrail, but no handrail locations are detailed in these plans. Detail all areas with running slopes greater than 5% and all handrail locations on sheet 6-6. Show that the ramps do not exceed the maximum of 30" rise. Show compliant landing areas. Show that all ramps will not exceed a running slope of 1:12. Stripping plan to include crosswalk area to adequately delineate the continuation of the accessible route across the driving area. Other comments will be provided on these plans at the time of the building permit and changes may be required during permitting process. See ADA Comment sheet for more. 	Technical Review Division/Terrain Management/ADA Site	Dee Beingsner
<ol style="list-style-type: none"> Proposed pedestrian connection to Santa Fe River Trail will have to cross a drainage culvert and an engineering detail for this crossing should be included in the final plans. 	Public Works	Leroy Pacheco
<ol style="list-style-type: none"> Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2009 Section 503.2.1). 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided (Appendix D Table D103.4). Fire Department shall have 150 feet distance to any portion of the building on any new construction. (IFC 2009 section 503.1.1). Shall comply with table D103.4 Requirements for Dead-End Fire Apparatus Access Roads. 507.5 Fire hydrant systems: Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6, 507.5.1 where required: Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building. Shall have water supply that meets fire flow requirements as per IFC (Appendix B). Shall comply with Section D102.1: Access and Loading (75,000 lbs). Shall comply with IFC 2009 Section D103.2 Grade: Fire apparatus access roads shall not exceed 10 percent in grade. Shall comply with IFC 2009 Section D103.5 Fire apparatus access road gates. Shall comply with Section D106 Multiple-Family Residential Developments. 	Fire Prevention	Geronimo Griego

EXHIBIT B

EXHIBIT B1
Technical Corrections
Case #2021-4244 4245
2190 W. Alameda Street Los Canales Final Development Plan

11. Shall meet the IFC code requirements 2015 edition or the most current edition the governing body has adopted at the time of permitting.		
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EXHIBIT B

Development Review Team
Comment Form

Date: 10/7/21
 Staff person: Dee Beingessner
 Dept/Div: Land Use/Terrain Management
 Case: **Case #2021-4244 thru 4245 West Alameda Street Los Canales**
 Case Mgr: Lee Logston



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval :	Must be completed by:
1 Drainage report issues – The report needs to summarize how much storage is required to meet the required reduction in flow to predevelopment levels. The narrative must also state where required storage volume will be provided. It sounds like there are many areas but they have not been detailed with locations and volumes.	Prior to recording plat
2 Show downspout locations on buildings and how water will be directed to ponding or landscaped areas.	
3 Label all ponding areas on Grading and Drainage sheets and show volumes detained/retained in each area. If landscaped areas are used for ponding volume requirements, label those volumes in each area.	
4 The energy dissipator will require minimum of 5' fencing to protect from anyone entering the deep water.	
5 Detail erosion protection at exit of energy dissipator	
6 Include detail of check dam	

Technical Corrections*:	Must be completed by:
1 ADA accessible route from the street does not appear to meet the required maximum running slope of the walking surfaces. Multi-family developments must comply with the maximum 1:20 running slope. ADA note on sheet 6-6 states the running slopes shall not exceed 5% without handrail, but no handrail locations are detailed in these plans. Detail all areas with running slopes greater than 5% and all handrail locations on sheet 6-6. Show that the ramps do not exceed the maximum of 30" rise. Show compliant landing areas. Show that all ramps will not exceed a running slope of 1:12.	Prior to recordation or permitting

EXHIBIT B

2 Striping plan to include crosswalk area to adequately delineate the continuation of the accessible route across the driving area.	Prior to recordation or permitting
3 Other comments will be provided on these plans at the time of the building permit and changes may be required during permitting process	Prior to permitting
	Prior to permitting

*Must made prior to recording and/or permit issuance

<p>ADA Approval Comments:</p> <p>Provide Design Professional Seal and signature with date signed on all drawing sheets.</p> <p>Accessibility feature design within the Public Right-of-Way shall comply with NMDOT Pedestrian Access Route Details (Serial 608).</p> <p>Sidewalks within the subdivision shall provide for a continuous accessible path of travel route(s). (Provide signage at closest intersection with accessible connection indicating “Accessible Route Ends Ahead” or “No Accessible Route” and provide detour at any temporary or permanent inaccessible routes.)</p> <p>Walking surfaces along the accessible path of travel route(s) shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps.</p> <p>Walking surfaces along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5’ diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.</p> <p>Accessible street crossing locations provided shall be compliant with NMDOT Pedestrian Access Route Details (Serial 608) and shall be approved by the City’s Traffic Engineering Division prior to permit application. Please include documentation of this approval with the building permit submittal.</p> <p>Driveway and intersection crossings shall not exceed 2% cross slope, shall have a level maneuvering space, shall have 1/4” max. vertical deflections, and 10% max. flare slope.</p> <p>Curb ramps shall have the required 5’ clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.</p>	<p>Prior to Recording</p>
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EXHIBIT B

At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

Vertical clearance: Provide and maintain 80" of vertical clearance for the full width of all sidewalks/pedestrian routes. Rails or other barriers shall be provided where the vertical clearance is less than 80". The leading edge of such rails or barrier shall be located 27" max. above the floor. (307.4) Provide and maintain 98" vertical clearance at van parking spaces and access aisles, and accessible routes. (502.6) At Passenger Loading Zones, provide and maintain 114" min. vertical clearance at the exterior vehicular route and access aisles serving the vehicle pull-up space. (503.5)

Off-Street parking a striped or metered on-street parking shall comply with:

2015 NM Accessible Parking Checklist

2010 ADA Standards - 208.2.3 Residential Facilities. Parking spaces provided to serve residential facilities shall comply with 208.2.3.

208.2.3.3 Parking for Guests, Employees, and Other Non-Residents. Where parking spaces are provided for persons other than residents, parking shall be provided in accordance with Table 208.2.

Provision for ADA parking, signage and sidewalk access at striped and/or metered on-street parking spaces is recommended and may be required for public infrastructure. See State Proposed PROWAG On-Street parking scoping requirements for details.

EXHIBIT B

Technical Corrections*:

Must be completed

by:

N/A	Prior to recording
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*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply:

General ADA Site Compliance Requirements for all phases of development of this project, as applicable

On-Site ADA Site Compliance Requirements as applicable:

IEBC Section 705, Accessibility: Businesses must comply with the provisions of the ADA Standards to the "maximum extent feasible" with a building alteration. The costs for the added ADA work is considered disproportionate if it is over 20% of the costs of the project. Improvements should be prioritized up to the 20% limit: entrance; route to the primary function area; at least one unisex ADA restroom or one restroom for each sex serving the area; drinking fountains serving the area; other.

Accessible path(s) of travel route shall be provided from the Public Right-of-Way and accessible parking aisle(s) to accessible building entrance(s) and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. Ensure accessible route(s) from the Public Right-of-Way and accessible parking space aisle(s) to building entrance(s) are provided and maintained. Provide detectable warning surfaces at curb ramps and transitions to driveway crossings along the accessible paths of travel as applicable.

IBC 1104.1 Site arrival points: At least one (firm, stable, slip resistant) accessible route within the site shall be provided from: public transportation stops, accessible parking, accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance served.

Accessibility feature design within the Site shall comply with NMDOT Pedestrian Access Route Details (Serial 608) or demonstrate compliance with applicable ADA regulations by other means as provided in the permitted Construction Documents.

All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

All walk surfaces along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.

EXHIBIT B

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

Ramps within the site shall have 1:12 (8.33%) running slope and 1:48 (2%) cross slope max. With a max. rise of 30" and with 5' clear length landings where straight. Changes in direction shall comply with 304.3. Landing typical slope is 1.5% and shall not exceed 2% running and cross slope.

Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.

Accessible parking spaces and access aisles shall not exceed 2% slope in any direction. 1%-1.5% is the preferred target slope.

ADA parking signage shall comply with the 2015 New Mexico Accessible Parking Checklist. Accessible Signage Detail - Signage with required language per the NM Accessible Parking Checklist is required at ALL ADA Parking spaces. Parking signage height shall be 84" above the floor of the parking space, measured to the bottom of the R7-8 sign in the Public right-of-way, accessible path of travel, pedestrian way or path of the means of egress. Locate Van Accessible Parking signs immediately below the reserved parking sign at wall mounted or other locations not in the pedestrian way. At Van Accessible signs located in the pedestrian way, the R7-8A Van Accessible sign shall be mounted at 84" to bottom of the sign. Wall mounted signs and signs not mounted in the public way shall be 60" (84" is preferred) minimum above the floor of the parking space, measured to the bottom of the sign.

ADA parking space and aisle striping shall comply with the 2015 NM Accessible Parking Checklist, Section 9 (NMBC-1111 Section 1.4 through 1.4.3). The ADA parking space access aisle shall be clearly marked by diagonal pavement striping. "NO PARKING" lettering shall be stenciled in 1 foot high min. and 2 inches wide min. strokes, and located at the drive end of the striped access aisle. The International Symbol of Accessibility (ISA) shall be stenciled at all parking spaces, centered on the space and aligned with the drive end of the parking space striping. All pavement striping and markings shall be stenciled with pavement paint; blue on concrete paving or white on asphalt paving.

Ensure ADA Accessible parking spaces are located in close physical proximity to any adjacent accessible entrances or accessible housing units (60% of all entrances shall be accessible on new construction), with the shortest path of travel available from the parking area to the unit(s) and accessible entrances. Ensure accessible routes from Accessible parking space aisle(s) to building entrance are provided/maintained.

Wheel stops are encouraged at all ADA accessible parking spaces to help ensure required clearance along the accessible path of travel is maintained.

EXHIBIT B

Vertical clearance: Provide and maintain 80" of vertical clearance for the full width of all sidewalks/pedestrian routes. Rails or other barriers shall be provided where the vertical clearance is less than 80". The leading edge of such rails or barrier shall be located 27" max. above the floor. (307.4) Provide and maintain 98" vertical clearance at van parking spaces and access aisles, and accessible routes. (502.6) At Passenger Loading Zones, provide and maintain 114" min. vertical clearance at the exterior vehicular route and access aisles serving the vehicle pull-up space. (503.5)

Bicycle parking spaces shall comply with the requirements set forth in SFCC Chapter 14, (Subsection 14-8.6(E) along with Appendix Exhibit D, bicycle rack standards and dimensions for size, clearance and location.

At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.

Off-Site ADA Site Compliance Requirements as applicable:

Accessibility feature design within the Public Right-of-Way shall comply with NMDOT Pedestrian Access Route Details (Serial 608).

Driveway and intersection crossings shall not exceed 2% cross slope, shall have a level maneuvering space, shall have 1/4" max. vertical deflections, and 10% max. flare slope.

Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.

All walk surface along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

Sidewalks and Walkways along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

EXHIBIT B

At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed): (see following pages for notes required)

EXHIBIT B

Development Review Team

Comment Form

Date: 10/18/2021

Staff person: Geronimo Griego

Dept/Div: Fire Prevention

Case: 2021-4244 4245 2190 W Alameda Los Canales Development Plan

Case Mgr: Lee Logston



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:
by:

Must be completed

--	--

Technical Corrections*:

Must be completed by:

<ol style="list-style-type: none"> 1. Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2015 Section 503.2.1). 2. Shall meet the 150 foot driveway requirements per IFC, or an emergency turn-around that meets the IFC requirements shall be provided (Appendix D Table D103.4). 3. Shall comply with table D103.4: Requirements for Dead-End Fire Apparatus Access Roads. 4. Fire Department shall have 150 feet distance to any portion of the building on any new construction (IFC 2015 section 503.1.1). 5. 507.5 Fire hydrant systems: Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6. 507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building. 6. Shall have water supply that meets fire flow requirements as per IFC (Appendix B). 	<p>At the time of any new construction or remodel.</p>
--	--

EXHIBIT B

<ol style="list-style-type: none">7. Shall comply with Section D102.1: Access and Loading (75,000 lbs).8. Shall comply with IFC 2015 Section D103.2 Grade: Fire apparatus access roads shall not exceed 10 percent in grade.9. Shall comply with IFC 2015 Section D103.5: Fire apparatus access road gates.10. Shall comply with Section D106: Multiple-Family Residential Developments.11. Shall meet the IFC code requirements 2015 edition or the most current edition the governing body has adopted at the time of permitting.	
---	--

*Must made prior to recording and/or permit issuance

EXHIBIT B

Development Review Team
Comment Form



Date: 10/12/2021

Staff person: Robert Jorgensen

Dept/Div: Public Utilities/Water

Case: **Case #2021-4244 & 4245 Los Canales Rezoning and Development Plan**

Case Mgr: Lee Logston

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:	Must be completed by:
1 An approved Water Plan from the Water Division will be required. Water Plan comments will be submitted to the design engineer.	Prior to final plat / rezoning approval.
2 Provide a 25' wide public sewer and waterline easement across southern portion of property. Utilize the existing sewer easement running parallel to the Santa Fe River and widen by 5 feet on south side.	Prior to final plat / rezoning approval.
3	
4	

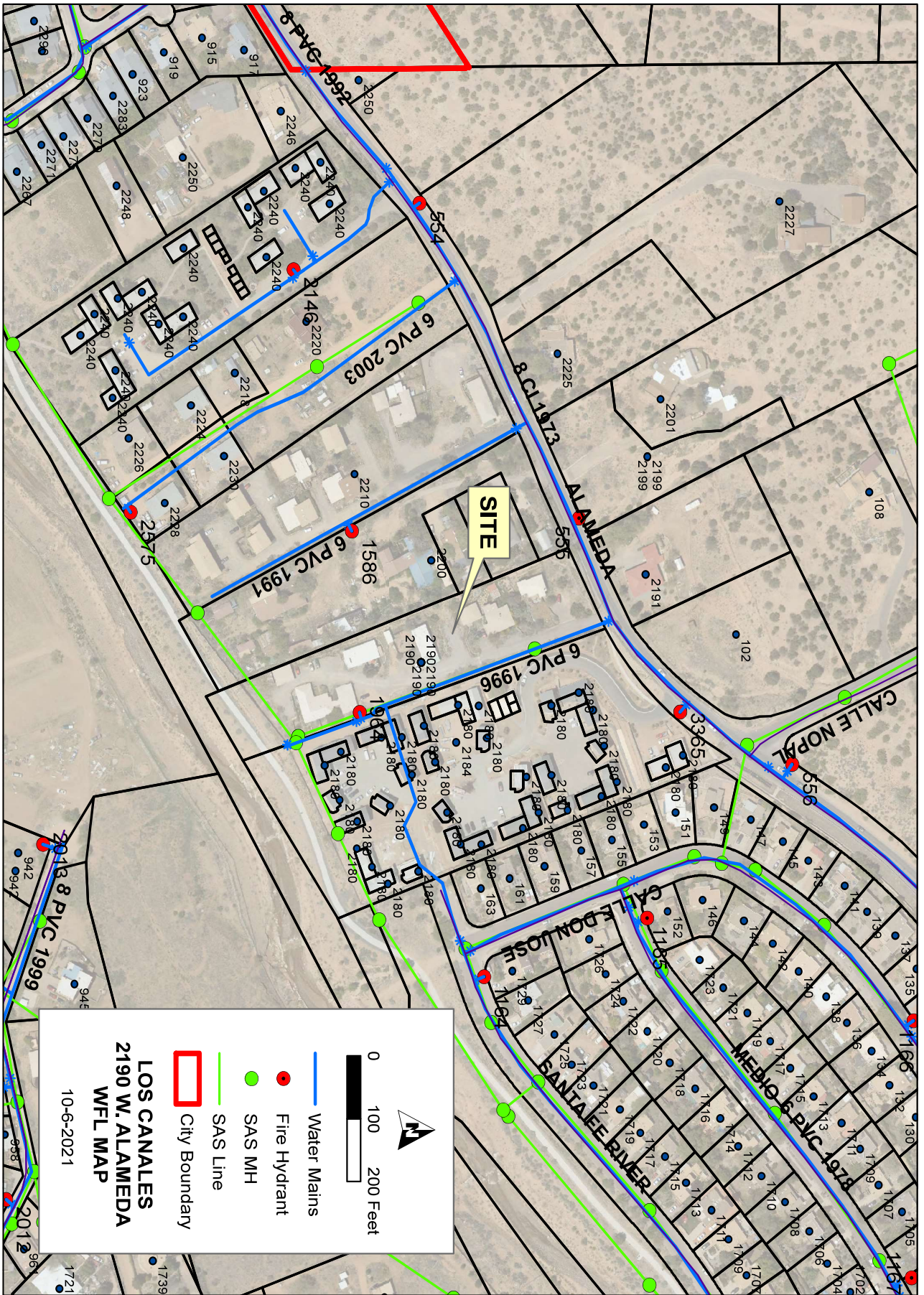
Technical Corrections*:	Must be completed by:
1	
2	
3	
4	


*Must made prior to recording and/or permit issuance


The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

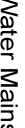
- Existing FH #1964 is currently rated at 750 gpm fire flow as it is an unlooped 6 inch main. Relocation of FH #1964 to a looped 6" main (move FH to the north about 50 feet and reconnect to existing 6" main) will increase fire flow rating to 1500 gpm.


EXHIBIT B







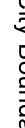


 Water Mains

 Fire Hydrant

 SAS MH

 SAS Line

 City Boundary

LOS CANALES

2190 W. ALAMEDA

WFL MAP

 10-6-2021

EXHIBIT B

From: [JORGENSEN, ROBERT N.](#)
To: [LOGSTON, LEE R.](#)
Cc: [JOHN P. DELMAR](#)
Subject: Plaza Del Monte
Date: Thursday, October 14, 2021 1:21:50 PM
Attachments: [Los Canales 2190 W Alameda WFL 10.06.2021.pdf](#)
[Plaza Del Monte WFL 10.06.2021.pdf](#)

Lee,

Please see the Plaza Del Monte notes below and the attached location map (my DRT comments for Los Canales sent in separate email).

Please contact me or John Del Mar if any questions. Thanks.

Robert Jorgensen, PE
Engineer, Water Division
City of Santa Fe
(o) 505.955.4265
rnjorgensen@santafenm.gov

From: JORGENSEN, ROBERT N.
Sent: Thursday, October 7, 2021 12:50 PM
To: JOHN P. DELMAR <jpgdelmar@santafenm.gov>
Subject: DRT Cases for Review at Friday Development Meeting

John,

I have two DRT cases that I would like to go over in tomorrow's Development meeting.

[Los Canales – 2190 W. Alameda Case 2021 – 4244 & 4245](#)

This is a Homewise project that has an existing 6" main along easterly property boundary.
Issue: Extend main along southerly boundary for future looping of developments to west.

[Plaza Del Monte – Case 2021-4246 & 4247](#)

This development is a conversion from a Presbyterian owned tract with multiple housing units to a subdivision. The subdivision has City water mains and meters through most of site. Mains are in poor shape and Bill Huey is currently working on a rehab.

Issue: Water lines are undersized for fire protection. Coordination with SFFD is required for location additional FH's. A second feed point (e.g. tie to main in Fort Marcy) should be considered. As a condition subdivision approval, I believe that the developer be required to provide or share in upgrading water facilities as needed.

Robert Jorgensen, PE
Engineer, Water Division
City of Santa Fe

City of Santa Fe, New Mexico

**Case #2021-4244 4245
2190 West Alameda Street Rezoning and
Development Plan
Planning Commission
November 4, 2021**

Exhibit C

Maps and Photos

- 1. Future Land Use**
- 2. Current Zoning**
- 3. Aerial Photo**
- 4. Street Views**

Exhibit C1: Future Land Use Map

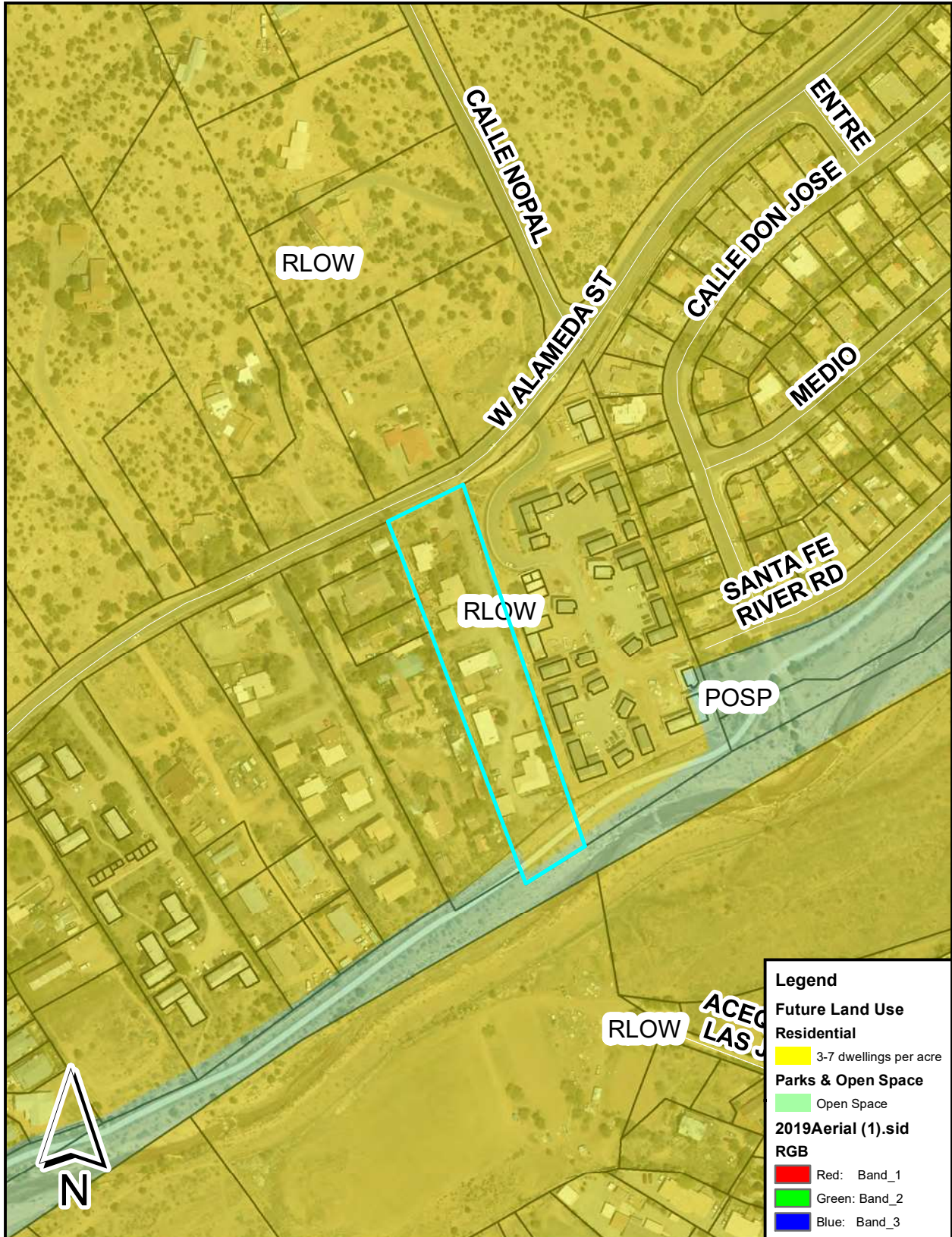


Exhibit C2: Current Zoning Map

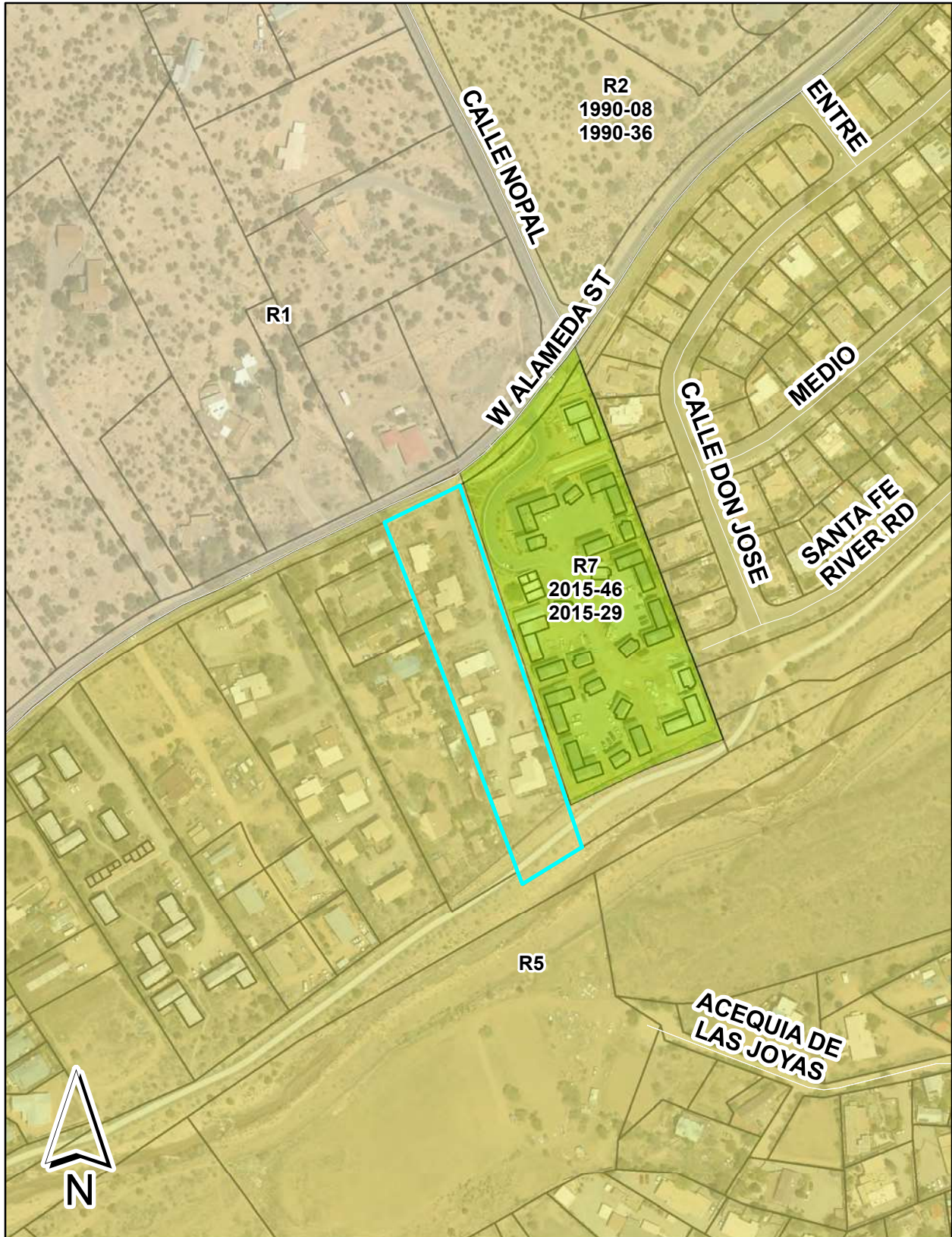


Exhibit C3: Aerial View

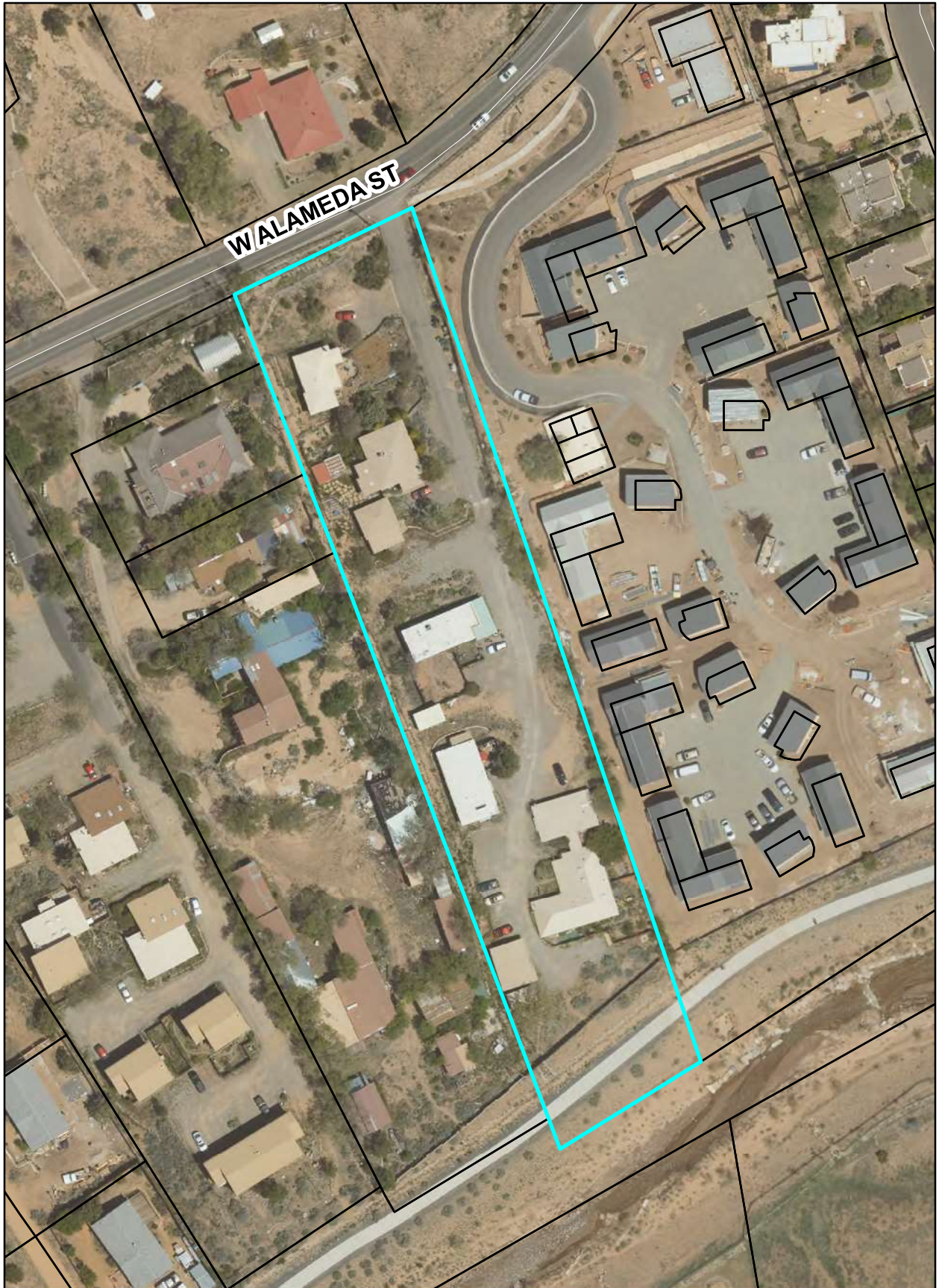


Exhibit C4: Google Views

Entrance at West Alameda Street



Proposed location of Unit 1. Setback to existing home is approximately 53' from street.



City of Santa Fe, New Mexico

**Case #2021-4244 4245
2190 W. Alameda Street Rezoning and
Final Development Plan
Planning Commission
November 4, 2021**

Exhibit D

Applicant Materials

- 1. Project Report**
- 2. Santa Fe Homes Proposal**
- 3. Pages from West Santa Fe River
Corridor Plan**
- 4. Proposed Development Plan**



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

September 20, 2021
(revised October 2021)

Lee Logston, Senior Planner
City of Santa Fe Current Planning Division
200 Lincoln Ave.
Santa Fe, NM 87501

**RE: Letter of Application
Los Canales Rezoning and Development Plan**

Dear Lee:

This letter is respectfully submitted on behalf of Homewise, Inc. (the “Applicant”) in application for a Rezoning from R-5 (Residential, 5 dwellings per acre) to R-7 (Residential, 7 dwellings per acre) and an associated Development Plan for a 2.01-acre parcel at 2190 West Alameda Street, for consideration by the Planning Commission at their meeting of November 4, 2021.

Project Description

The ±2.01-acre subject property is located on the south side of West Alameda Street west of Calle Nopal and adjacent to the Santa Fe River Greenway Trail to the south. The property is zoned R-5 and is located in the West Santa Fe River Corridor Overlay District. Existing structures include 3 detached homes, 1 duplex, and 1 fourplex for a total of nine dwelling units, in addition to sheds and other accessory structures. The Applicant proposes to rezone the property to R-7, which requires the concurrent submittal of a Development Plan. The proposed Development Plan includes the construction of 2 new buildings to house 5 new dwellings, for a total of 14 dwelling units. A condominium regime will be established to provide homeownership opportunities. Planned site improvements include driveway improvements, creation of formal parking spaces, construction of sidewalks and a pedestrian connection to the Santa Fe River Greenway Trail, and drainage upgrades. Three of the existing homes (20%) will be renovated and sold as affordable homes in compliance with the Santa Fe Homes Program requirements, and a private grant will allow the Applicant to achieve affordability of up to 50% of the homes within the development.

Zoning Compliance

The site is presently zoned R-5, and the proposed zoning is R-7. The purpose of R-7 zoning, per SFCC § 14-2.2(E), is to allow for a greater intensity of residential land use, to encourage infill development on underdeveloped land, and to allow a housing density that enables affordability. The intent of this proposed rezoning aligns well with the purpose of the R-7 residential zone. The

EXHIBIT B

Los Canales Rezone & Development Plan
Letter of Application
Page 2 of 8

total proposed lot coverage for the development is 17.3% (total roofed area = 15,166 sq.ft.), well below the allowable 40%

Per Table 14-7.2-1, setbacks in the R-7 district are established by a Development Plan and otherwise default to the setbacks specified for R-1 to R-6. The proposed Development Plan for the site establishes the following setbacks for the property:

Alameda Street Setback:	50 feet
Private Drive Setback:	2 feet for existing structures / 5 feet for new structures
Rear Yard Setback:	10 feet

The subject property is also situated within the West Santa Fe River Corridor Overlay District. In compliance with the Overlay standards for developments with a density of 5 dwellings per acre or greater, 14.7% of the land area of the subject property (12,941 sq.ft) has been reserved as Common Open Space on the proposed Development Plan.

Rezoning Approval Criteria

The rezoning approval criteria outlined in SFCC §14-3.5(C) and (D) are addressed below:

(1) The planning commission and the governing body shall review all rezoning proposals on the basis of the criteria provided in this section, and the reviewing entities must make complete findings of fact sufficient to show that these criteria have been met before recommending or approving any rezoning:

(a) One or more of the following conditions exist:

(i) there was a mistake in the original zoning.

N/A

(ii) there has been a change in the surrounding area, altering the character of the neighborhood to such an extent as to justify changing the zoning.

N/A

(iii) a different use category is more advantageous to the community, as articulated in the general plan or other adopted city plans.

Applicant Response: The project is located within the Rio Vista Sub-Area of the West Santa Fe River Corridor Overlay Zoning District, as described in the West Santa Fe River Corridor Plan (adopted, December 2017). The Plan describes this Sub-Area as being a transitional area between more compact urban densities to the east and more open rural densities to the west. In addition, due to the availability of City water and sewer infrastructure in this area, the Plan recommends R-5 and R-7

EXHIBIT B

zoning densities. The proposed rezoning of the property from R-5 to R-7 is consistent with the types of future development contemplated and encouraged in this area of the Overlay District and is more advantageous to the community because it allows for the efficient use of public infrastructure, an increase in much-needed housing supply, and the creation of new affordable housing. Furthermore, as previously stated, the intent of the proposed rezoning aligns well with the purpose of the R-7 district, per SFCC § 14-2.2(E), which is to allow for a greater intensity of residential land use, to encourage infill development on underdeveloped land, and to allow a housing density that enables affordability.

(b) *all the rezoning requirements of Chapter 14 have been met.*

Applicant Response: All rezoning requirements of Chapter 14 have been met.

(c) *the rezoning is consistent with the applicable policies of the general plan, including the future land use map.*

Applicant Response: The proposed rezoning and redevelopment program supports General Plan themes of Affordable Housing, Sustainable Growth, and Character, respecting the evolution of land use patterns while preserving community character, efficiently utilizing infrastructure through infill development, and responding to Santa Fe's substantial housing demand. The proposal is also consistent with General Plan principles calling for the Protection of Natural Resources, Network of Open Space, Respect for Traditional Communities, and Corridor Protection between Urban and Rural Uses. The Future Land Use Map designation for the parcel is 3-7 dwellings per acre, which supports the proposed R-7 zoning.

(d) *the amount of land proposed for rezoning and the proposed use for the land is consistent with city policies regarding the provision of urban land sufficient to meet the amount, rate and geographic location of the growth of the city.*

Applicant Response: General Plan Figure 4-4, Urban Sub-Areas, designates the subject property and surrounding area as an "Infill Area." The Growth Management Chapter of the General Plan specifically calls for prioritization of infill development in Santa Fe in order to maximize the efficient use of public infrastructure, while meeting the demand for urban land for development and directing new growth towards the historic core of the city rather than on the undeveloped fringes. The proposed infill project is in alignment with these strategic directives.

(e) *the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the proposed development.*

Applicant Response: The subject parcel is currently served by existing roadways and public water and sewer infrastructure. In addition, the site is adjacent to the Santa Fe

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Los Canales Rezone & Development Plan
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River Greenway Trail, providing access to the City's network of urban trails and open space. The addition of five new dwellings on the property will have minimal impacts on the existing infrastructure, and proposed site improvements will compliment and enhance the adjacent public facilities.

(2) Unless the proposed change is consistent with applicable general plan policies, the planning commission and the governing body shall not recommend or approve any rezoning, the practical effect of which is to:

(a) allow uses or a change in character significantly different from or inconsistent with the prevailing use and character in the area;

*(b) affect an area of less than two acres, unless adjusting boundaries between districts; or
N/A*

(c) benefit one or a few landowners at the expense of the surrounding landowners or general public.

Applicant Response: The proposed project aligns well with numerous General Plan policies and principles, as addressed above. Further, it is a model of the type of infill development that both the General Plan and the West Santa Fe River Corridor Plan specifically encourage.

SFCC §14-3.5 (D): Additional Applicant Requirements

(1) If the impacts of the proposed development or rezoning cannot be accommodated by the existing infrastructure and public facilities, the city may require the developer to participate wholly or in part in the cost of construction of off-site facilities in conformance with any applicable city ordinances, regulations or policies;

Applicant Response: The impacts of the proposed rezoning and development of 5 new dwellings will be minimal and easily accommodated by existing infrastructure and public facilities.

(2) If the proposed rezoning creates a need for additional streets, sidewalks or curbs necessitated by and attributable to the new development, the city may require the developer to contribute a proportional fair share of the cost of the expansion in addition to impact fees that may be required pursuant to Section 14-8.14.

Applicant Response: No new streets will be needed as a result of the rezoning, and a new sidewalk will be constructed along West Alameda Street.

Development Plan Approval Criteria

The Development Plan approval criteria outlined in §14-3.8(D)(1) are addressed below:

EXHIBIT B

Los Canales Rezone & Development Plan
Letter of Application
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- a) *that the land use board is empowered to approve the plan under the section of Chapter 14 described in the application*

Applicant Response: The Planning Commission has the authority to approve the Development Plan in accordance with §14-2.3(C)(1).

- b) *that approving the development plan does not adversely affect the public interest*

Applicant Response: The proposed Development Plan does not adversely impact the public interest, but rather the project will benefit the public by increasing the supply of much-needed housing, increasing housing affordability in the area, enhancing pedestrian connectivity by extending the sidewalk along the south side of West Alameda Street and by providing a direct connection for residents to the Santa Fe River Greenway Trail, and by improving storm water management by constructing extensive upgrades to the drainage easement along the west property boundary. Furthermore, the proposed project enhances existing conditions, preserves neighborhood character, and creates homeownership opportunities for current tenants and new residents.

- c) *that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.*

Applicant Response: The proposed residential uses and density are compatible with adjacent uses and densities. The River Trail Lofts to the east at 2180 W. Alameda Street is zoned R-7, and the property to the west is zoned R-5 as is much of the surrounding land. As stated above, the project is located within the Rio Vista Sub-Area of the West Santa Fe River Corridor Overlay Zoning District. This Sub-Area is intended as a transitional area between more compact urban densities to the east and more open rural densities to the west. In addition, because of the presence of City water and sewer infrastructure in this area, R-5 and R-7 zoning and associated development densities are recommended for this area. The proposed development plan for the property and rezoning from R-5 to R-7 are consistent with the types of future development contemplated and encouraged in this area of the Overlay District.

Santa Fe Homes Program

In accordance with the current provisions of the Santa Fe Homes Program (“SFHP”), the Project will provide three affordable homes (20%) – one unit in each income range: 50-65% AMI, 66-80% AMI, 81-100% AMI. Additionally, Homewise has received a private donation to support increased housing affordability for the project, which is projected to benefit 50% of the 14 units at affordable pricing for Santa Fe.

The project will utilize the 15% density bonus for the provision of affordable housing in compliance with the SFHP, and the calculation is as follows:

EXHIBIT B

Los Canales Rezone & Development Plan
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Gross Lot Area = 2.01 acres
Floodway Area = 0.21 acres (9,381 sq.ft.)
Net Lot Area = 1.79 acres
Base Density = 1.79 acres x 7 DU/acre = 12.53 DU
Proposed Density = Base Density + 15% SFHP Density Bonus = 14 DU

Please refer to the attached SFHP Proposal for more information.

Access and Traffic

The Project is presently accessed via a private driveway off of West Alameda Street, and this access will not change with the proposed redevelopment of the site. Because the majority of the dwelling units in the project already exist, no Traffic Impact Analysis was requested by staff.

Improvements on West Alameda Street include 5-ft concrete sidewalks interior to the existing guardrail. Driveway improvements are proposed, including re-grading and re-surfacing the private access drive, as well as retaining walls to reduce the existing steep grade at the northern end of the driveway. In addition, 5-ft sidewalks will be constructed along one side of the private drive, and 30 formalized parking spaces will be provided (exceeds the requisite 2 per dwelling unit). A shared access and utility easement will be created along the private drive, and all roadway maintenance will be the responsibility of a new condominium owner's association. Additionally, a pedestrian connection will be made to the adjacent Santa Fe River Greenway Trail in order to enhance access to the City's network of trails and open space.

Terrain Management

All terrain management regulations will be met. The limits of the 100-year floodplain associated with the Santa Fe River fall outside of the existing and proposed development along the southern portion of the property, and flood hazards will not be increased by the proposed development. The drainage easement that runs along the western boundary of the property will be improved such that it will function properly to convey storm water and reduce velocity. The 10-ft wide drainage easement will be reconstructed and rock-lined. A retaining wall will be constructed along its western edge at the property boundary, and check dams will be installed along the easement to slow the flow of water and allow for infiltration. In addition, an existing detention pond at the end of the drainage swale, near the southwest corner of the property, will be utilized and slightly expanded. This detention pond will capture increased runoff that will result from new impervious area and will further slow storm water that is conveyed by the swale such that any water that overflows to the Santa Fe River will not exceed historic flows.

The site generally slopes from north to south, with steep grades from West Alameda Street down to the buildable area of the site. The private driveway off West Alameda will be rebuilt, and retaining walls installed in order to create reasonable driveway, parking, and sidewalk grades. Passive water harvesting will be employed in open areas around buildings, and preservation of

EXHIBIT B

Los Canales Rezone & Development Plan
Letter of Application
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existing mature vegetation will be prioritized. See Terrain Management Report and Grading and Drainage Plan for more detail.

Parking, Landscaping & Lighting

Per SFCC Table 14-8.6-1, two parking spaces are required per residential unit. The total required parking for the proposed 14-unit development is 28 spaces, and 30 spaces are provided.

No new landscaping or site lighting is proposed, as preservation of neighborhood character and existing mature and native vegetation is a top priority.

Water and Wastewater

The Project will be served with existing City water and sewer infrastructure. Five new dwellings are proposed with the Application, and these will create new water demand as follows:

$$\text{New Indoor Residential Water Demand} = 0.16 \text{ AFY/DU} \times 5 \text{ DU} = 0.8 \text{ AFY}$$

Water demand offset fees will be paid upon issuance of building permits for the five proposed dwellings.

Solid Waste

The proposed subdivision will continue to be served by the City of Santa Fe Solid Waste Management Division.

Archaeology

The Project is located in the River and Trails Archaeological District. An archaeological survey was conducted, and an Archaeological Clearance Permit has been issued by the City of Santa Fe Archaeological Review Committee (ARC). See the attached ARC Action Letter for reference.

Fire Protection and Emergency Access

Emergency access requirements are satisfied by the provision of a 20-ft wide driveway and hammerhead turnaround. A fire hydrant is located on the property, and there are additional hydrants in close proximity on West Alameda Street.

Early Neighborhood Notification

An Early Neighborhood Notification meeting was held on July 22, 2021. Five current residents were in attendance, and Homewise staff have continued to meet with and reach out to these attendees and other residents to address questions and concerns. Discussion has included strategies to improve resident collaboration in the entitlement and development process, storm water management concerns, driveway improvements and new parking areas, storage needs,

EXHIBIT B

Los Canales Rezone & Development Plan
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timeline for construction, and ideas for minimizing resident impacts, particularly in regards to home renovations

In support of these requests, the following documentation is submitted herewith for your review and consideration:

- 1a. Rezoning Application
- 1b. Development Plan Application
2. Letter of Owner Authorization
3. Lot of Record Deed and Plat
4. SFHP Proposal
5. Terrain Management Report
6. Archaeological Review Committee Action Letter
7. ENN Notes
8. Development Plan Set

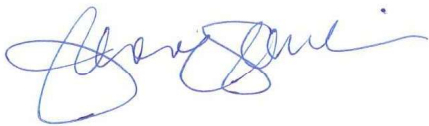
The Application Fees are calculated as follows:

Rezoning	\$1,000.00
Development Plan	\$7,000.00 (Construction Valuation = \$1M)
<u>Posters</u>	<u>\$ 0.00 (will re-use ENN poster)</u>
TOTAL:	\$8,000.00

Please let us know if you have any questions or need additional information.

Thank you for your consideration.

Sincerely,



Jennifer Jenkins
JenkinsGavin, Inc.

EXHIBIT B

City of Santa Fe
SANTA FE HOMES PROGRAM
PROPOSAL
"Los Canales"
2190 West Alameda Street
Santa Fe, New Mexico

This Santa Fe Homes Program Proposal ("SFHP Proposal") is made this 17 day of September 2021 by *Homewise, Inc.* ("SFHP Developer").

RECITALS

- A. SFHP Developer is the developer of Los Canales hereinafter referred to as the "Property".
- B. SFHP Developer desires to rezone and develop the Property.
- C. It is understood that all representations made herein are material to the City and that the City will rely upon these representations in permitting or approving development of the Property.

PROPOSAL

SFHP Developer proposes to comply with the SFHP requirements as follows:

- A. DEVELOPMENT REQUEST. SFHP Developer seeks rezoning and development plan approval.
- B. SFHP PLAN. The project has an area of approximately 2.01 acres, proposed zoning is R-7, permitting 7 dwelling units per acre. SFHP Developer proposes to build 5 new dwelling units in addition to the 9 existing dwelling units on site, for a total of 14 dwelling units. Developer agrees to comply with the Santa Fe Homes Program ordinance. SFHP which requires that 20% of these homes are affordably-priced, resulting in 3 affordable homes. The SFHP Plan shall include the number of bedrooms and bathrooms, the minimum square footage and the minimum household size, the income range to be served

EXHIBIT B

and the current SFHP Home price for each SFHP Home as set forth in Section 8.2 of the SFHP Administrative Procedures. If the development is constructed in phases, a SFHP Plan for each phase shall be reviewed and approved by the City and recorded at the County Clerk's office prior to issuance of a building permit by the City for that phase.

C. SUCCESSORS IN TITLE. SFHP Developer proposes to develop the Property consistent with this SFHP Proposal. In the event that SFHP Developer sells, assigns, leases, conveys, mortgages, or encumbers the Property to any third party, the third party shall be required to execute a SFHP Agreement consistent with this Proposal prior to obtaining any City approvals.

D. MONITORING. SFHP Developer proposes to provide such information and documentation as the City may reasonably require in order to ensure that the actual sales were in compliance with the SFHP Agreement.

E. DEVELOPMENT INCENTIVES. SFHP Developer **does not** request a **density** bonus (15%). However, the SFHP Developer does request fee waivers and reduced fees for the affordable units as per SFCC 14.8.11(G)(2), including: Impact Fees, Wastewater UECs and Building, Electrical, Plumbing & Mechanical Permit Fees. Water UECs (not including the construction costs associated with installation) are REDUCED.

E. REVISIONS, MODIFICATIONS AND SUPPLEMENTATION OF THIS PROPOSAL. In the event that the SFHP Developer or the City make material modifications, including modifications to the number of lots or units or the area covered by the Proposal, a revised SFHP Proposal shall be promptly submitted to the Office of Affordable Housing in order to provide a SFHP Proposal that is current and reflects the intended development.

EXHIBIT B

EXHIBIT 1

Site Plan

SANTA FE HOMES PROGRAM
SFHP PLAN AND HOME SALES PRICING SCHEDULE
 Effective April 2021*

<i>Income Range</i>	<i>One Bedroom 1-2 person HH (850 sq ft min)</i>	<i>Two Bedrooms 1-2 person HH (1,000 sq ft min)</i>	<i>Three Bedrooms 3-4 person HH (1,150 sq ft min)</i>
2 (50-65%AMI)	Max. Price \$128,500	Max. Price \$146,750	Max. Price \$165,250
3 (65-80%AMI)	Max. Price \$167,000	Max. Price \$190,750	Max. Price \$214,750
4 (80-100%AMI)	Max. Price \$205,500	Max. Price \$235,000	Max. Price \$264,250

Prices reflect April 2020 HUD Area Median Incomes for Santa Fe. Refer to Section 26-1.16 (B) and the SFHP Administrative Procedures. For specific requirements contact The Office of Affordable Housing.

AFFORDABILITY CALCULATION
Single Family Building Lots

The project has an area of approximately 2.01 acres, is rezoned to R-7, permitting 7 dwellings per acre. The required number of SFHP units is 20% of the total units, 5% each in Income Ranges 2 and 4 and 10% in Income Range 2. The project proposes to build 5 new residences in addition to the 9 existing dwellings, for a **total of 14 dwelling units**.

CALCULATION for the SFHP requirement:

- = Total number of units multiplied by (0.2) = # of Units Required
- = 14 total units x 0.2 = 2.8 SFHP unit(s) are required
- = 3 lots/units delivered

NOTE: The home prices and fractional fee schedule are modified by the City according to Section 8.7.3 of the SFHP Administrative Procedures to reflect annual changes in the median income levels. The SFHP Home prices shown in this SFHP Agreement are the prices in effect at the time this Agreement is made. The current SFHP prices that are in effect at the time the SFHP Home is made available for sale or the fractional fees are paid, determines the actual SFHP Home Price and/or amount of fractional fee. The prices are updated annually.

Rio Vista Area

Land Use Issues/Approach – The Rio Vista Area is primarily developed with city subdivisions of 5 to 7 units per acre using city water and wastewater systems. East of Calle Nopal, West Alameda Street is a semi-urban section of roadway containing sidewalk, curb & gutter, drainage and street lighting on the south side only, while remaining a generally rural section on the north side of the roadway. West Alameda Street, in the Rio Vista Area, should be part of an overall design study and improvement plan, though fewer improvements may be needed east of Calle Nopal. While the current development pattern has transitioned to city subdivisions, such as the Rio Vista subdivision, some residential infill continues (i.e. 5-7 units per acre) with the recent approval of the River Lofts development.

1. **Recommended Future Land Use:** *Residential, 3-7 Dwellings per Acre (No change recommended)*
2. **Recommended Zoning:** *Residential, R5 and R7 (No change recommended)*
3. **West Alameda Street Design and Improvement Plan:**
The City should prepare a Design and Improvement Plan for West Alameda Street along the Rio Vista Area to La Joya Road. Most of the improvements in this area may be needed along the north side of West Alameda Street, where topography allows improvements.
4. **Development Plan Requirements:** (Also see “Overlay” standards section)
 - A. **West Alameda Street Frontage Requirements:**
 1. **Development Plans** – *Minimum of 250 feet of frontage width along West Alameda Street to be considered for subdivision approval using city water and wastewater systems.*
 2. **West Alameda Street Improvements** – *Landowner/Developer must work with the city’s Public Works Department to determine probable future right-of-way needs in relation to the specific property and show necessary development setbacks from West Alameda Street.*
 3. **Pedestrian/Bicycle Accommodations** – *A multi-use trail or sidewalk should be required along the entire width of the development’s street frontage along West Alameda Street.*
 4. **Proposed/Improved Streets** – *Proposed streets, or those that were previously private access lanes, must meet city road standards, including possible transfer of streets to the city as public rights-of-way; all proposed streets within the development boundary must be approved by the city traffic engineer.*
 - B. **Water & Wastewater** – *Subdivision development/redevelopment plans requesting densities greater than one-acre lots must be served by city water and wastewater systems and all domestic wells on the property(s) that are part of the development application must be transferred to the city for abandonment.*
 - C. **Underground Electric Utilities** – *Future development in this area should place electric utilities underground.*

EXHIBIT B

D. Historical Surveys/Archaeology Reconnaissance – *The Rio Vista Area is within the city’s “River and Trails Archaeological Review District” and clearance permits are required of all developments over two (2) acres in size where previous archaeological reconnaissance, excavation or other treatment has not already been completed. The existence of archaeology in the vicinity requires investigation for all proposed developments and subdivisions. A survey of the history of existing structures is required of all development applications.*

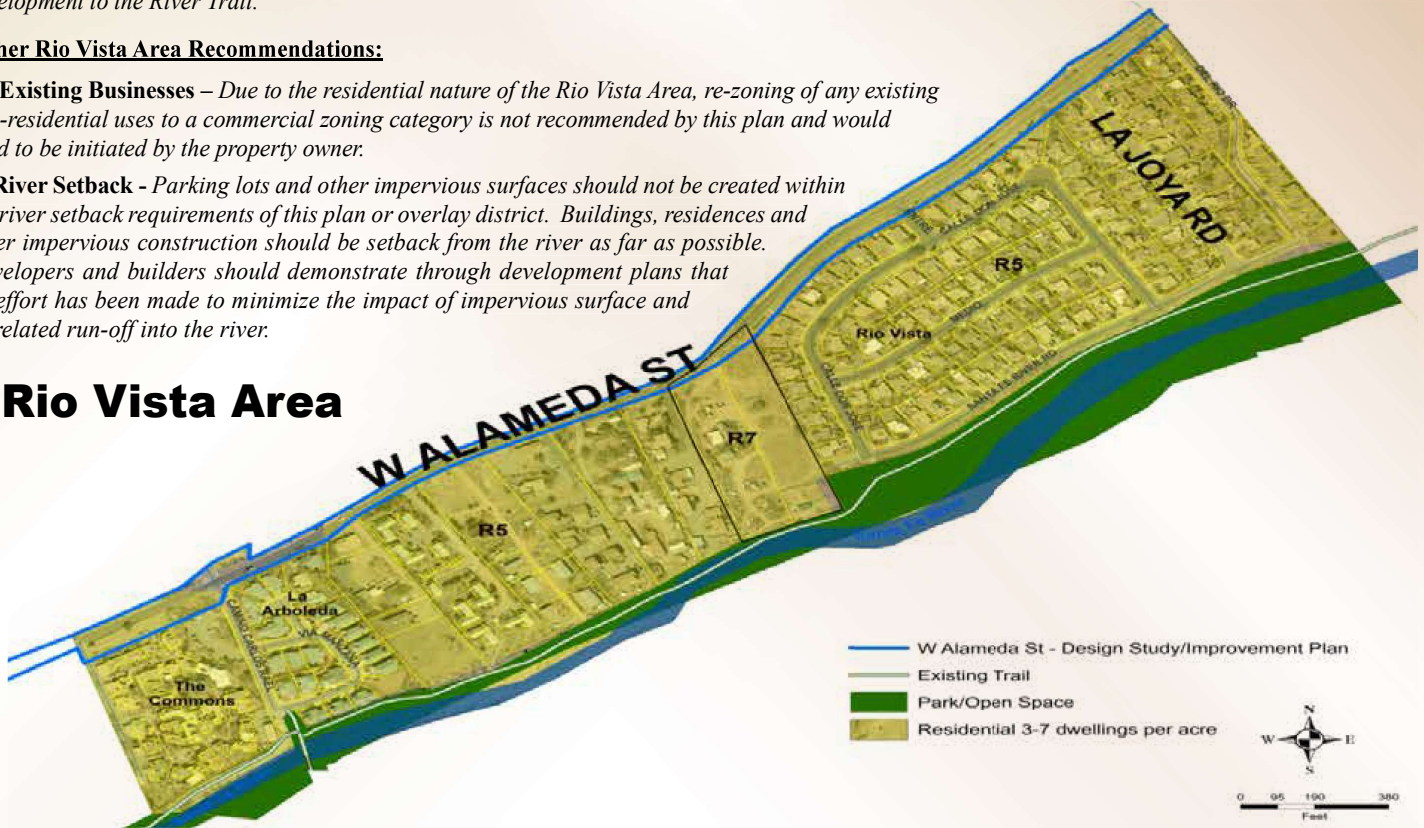
E. Trail/Public Access Easements Required – *All proposed developments should make provision for an access easement from the proposed development to the River Trail.*

5. Other Rio Vista Area Recommendations:

A. Existing Businesses – *Due to the residential nature of the Rio Vista Area, re-zoning of any existing non-residential uses to a commercial zoning category is not recommended by this plan and would need to be initiated by the property owner.*

B. River Setback - *Parking lots and other impervious surfaces should not be created within the river setback requirements of this plan or overlay district. Buildings, residences and other impervious construction should be setback from the river as far as possible. Developers and builders should demonstrate through development plans that an effort has been made to minimize the impact of impervious surface and its related run-off into the river.*

Rio Vista Area

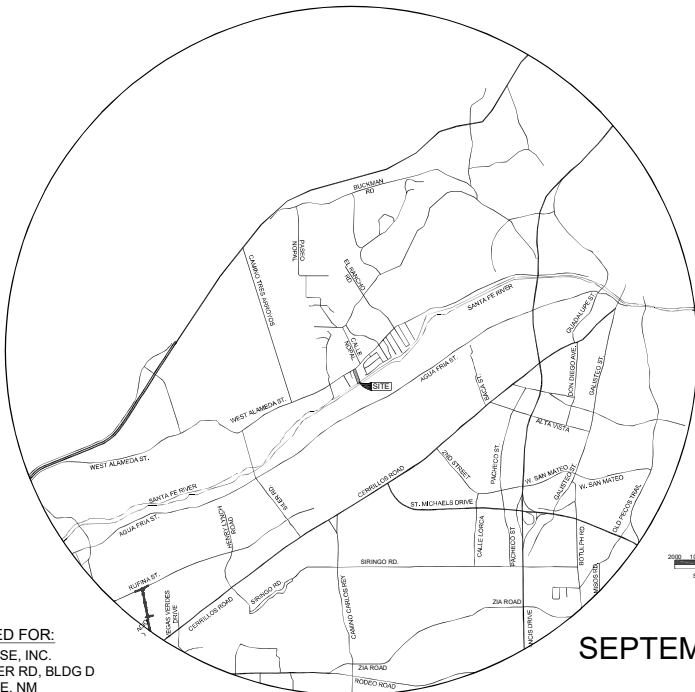


REZONING AND DEVELOPMENT PLAN

SUBMITTAL FOR

LOS CANALES

SANTA FE, NEW MEXICO



PREPARED FOR:
 HOMEWISE, INC.
 1301 SILER RD, BLDG D
 SANTA FE, NM
 87507

CITY OF SANTA FE, NEW MEXICO
SECTION 27, TOWNSHIP 17N, RANGE 9E

SEPTEMBER
2021
 REVISED OCTOBER, 2021

CASE #

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BUILDING PERMIT No's: (GRADING) _____ (LANDSCAPE/UTILITIES) _____
 INFRASTRUCTURE CONSTRUCTION ADDRESS: _____

ENGINEER'S STORMWATER INFRASTRUCTURE CERTIFICATION
 I, UNDERSIGNED, BEING A PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO,
 DO HEREBY CERTIFY THAT THE RECORD INFORMATION SHOWN HEREON IS BASED ON
 ACTUAL FIELD MEASUREMENTS AND VISUAL INSPECTIONS PERFORMED BY MYSELF OR
 UNDER MY DIRECT SUPERVISION.

I FURTHER CERTIFY THAT THE RECORD CONDITION OF THE SITE AS OF
 _____ DATE
 IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN.

PRINTED NAME, NAME NO. _____ DATE _____



PROPERTY DEVELOPMENT MUST COMPLY WITH SECTION 14.8.12
 (RELOCATION OF GANNON'S PRAIRIE DOGS)

CITY OF SANTA FE DRAINAGE NOTES

1. SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF ROAD SECTIONS OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 2. MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTORSHIP.
- I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND BASED UPON INFORMATION PROVIDED BY OTHERS, I ACCEPT THE RECORD DATA AS BEING ACCURATE AND APPLICABLE TO THIS PROJECT.

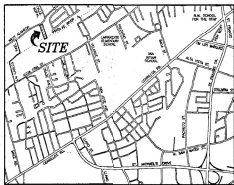
MICHAEL D. GOMEZ, N.M.P.E. NO. 8751
 SANTA FE ENGINEERING CONSULTANTS, LLC.

RICK CHATROOP
PROFESSIONAL LAND SURVEYOR
 NEW MEXICO REGISTRATION NO. 11011
 110 HAGON TRAIL BL. BERGEMAN, NM. 87510
 (505) 470-9027

REV.	SHEETS	CITY ENGR.	DATE	REV.	SHEETS	CITY ENGR.	DATE
APPROVAL OF REVISIONS							

	CITY OF SANTA FE	APPROVED FOR CONSTRUCTION
	CITY ENGINEER	DATE
COVER SHEET AND INDEX OF SHEETS		SHEET 1-1

SFE Santa Fe Engineering Consultants, LLC
 1599 St. Francis Drive, Suite B
 Santa Fe, N. M. 87505
 (505) 982-2845 Fax: (505) 982-2841
 http://www.SFENGR.com



VICINITY MAP SCALE 1"=2000'

DEDICATION / AFFIDAVIT

KNOW ALL PERSONS BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) HAS/GAUS TO BE RE-PLATTED THE LANDS SHOWN HEREON, LYING AND BEING SITUATE WITHIN THE CITY OF SANTA FE, NEW MEXICO, THAT APPEARS ON THIS PLAN AS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S). THESE LANDS LIE WITHIN THE PLANNING AND PLATING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO. MAINTENANCE OF THE ACCESS (INDICATED AS SHOWN HEREON) IS TO BE THE RESPONSIBILITY OF THE LAND OWNERS. AN EASEMENT IS HEREBY GRANTED FOR ALL EXISTING UTILITIES.

Margaret W. Terrell 7/26/95
TERRELL

STATE OF NEW MEXICO
COUNTY OF SANTA FE



ON THIS 26 DAY OF July, 1995, THE FOLLOWING INSTRUMENT HAS KNOWLEDGE BEFORE ME BY THE PERSON(S) WHOSE NAME(S) APPEAR ABOVE.

Jeff Gonsky 6/26/95
NOTARY PUBLIC COMMISSION EXPIRES

CITY OF SANTA FE REVIEW

John M. ... 7/26/95
DEVELOPMENT REVIEW SUBDIVISION ENGINEER DATE

Greg Smith 9/26/95
CITY PLANNING DATE

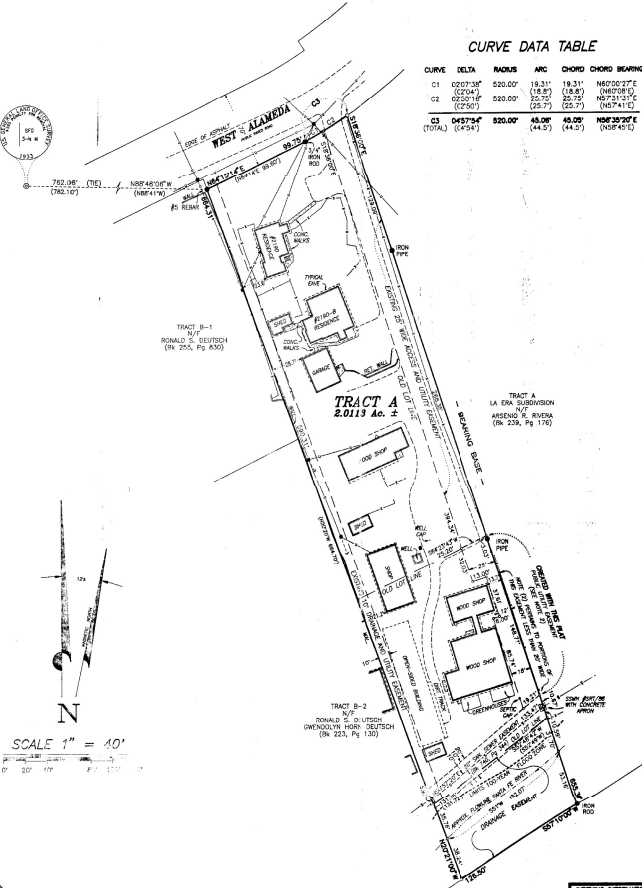
NOTES AND CONDITIONS

- THE LIMITS OF THE 100-YEAR FLOOD ZONE SHOWN HEREON ARE TAKEN FROM PLANS TITLED "TERRELL PROPERTY SEWER AND WATER LINES, PAGE 3 OF 3, BY WALTER E. WILLIAMS, N.A.P.C., NO. 5090, DATED AUGUST 23, 1995.
- CITY OF SANTA FE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES WHICH MAY OCCUR WHEN ACCESSING CITY'S SANITARY SEWERLINE FOR MAINTENANCE.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WAS MADE BY ME OR UNDER MY PERSONAL SUPERVISION AND CONTROL, AND THAT THE DATA SHOWN HEREON ARE TRUE AND CORRECT. I FURTHER CERTIFY THAT THIS SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS. FIELD WORK PERFORMED ON 27 JUNE 1995.

Richard E. Smith 9/20/95
RICHARD E. SMITH, N.M.P.S. NO. 3837, DATE



CURVE DATA TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	CHORD BEARING
C1	0202°38'	520.00'	18.31'	18.31'	N82°00'27"E
C2	0202°38'	520.00'	18.31'	18.31'	N82°00'27"E
C3	0437°34'	820.00'	48.02'	48.02'	N08°30'27"E
(TOTAL)	(4°58')		(44.2')	(44.2')	N08°45'12"E

LEGEND / PLAT REFERENCE

- INDICATES POINT FOUND AND USED AS NOTED.
- INDICATES BRASS CAP MONUMENT ALUMINUM CAPPED BRASS SET.
- INDICATES SMITH AND WILLIAMSON ALUMINUM CAPPED BRASS SET.
- INDICATES CALCULATED POINT NOT SET.
- INDICATES CITY OF SANTA FE SANITARY SEWER MANHOLE.
- INDICATES UTILITY POLE, OVERHEAD WIRE LINES, AND PUBLIC BODY PARALLEL WHERE APPLICABLE.
- ▲ INDICATES ELECTRIC METER.
- ▲ INDICATES GAS METER.
- INDICATES FENCE LINE.

PROPERTY DESCRIPTION

A CERTAIN TRACT OF LAND LYING AND BEING SITUATE WITHIN THE SANTA FE COUNTY, NEW MEXICO, COUNTY OF SANTA FE, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED BY METES AND BEARINGS ON A PLAT OF SURVEY TITLED "LOT CONSOLIDATION PLAT PREPARED FOR MARGARET W. TERRELL OF LANDS AT 2180 WEST ALAMEDA, CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO, BY RICHARD E. SMITH, N.A.P.C. NO. 5090, DATED JULY 1995, AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE TRACT, MARKED BY A FOUND N. S. BEARING TO THE SOUTHWEST WEST ALAMEDA ROW, FROM WHENCE THE FOUND BRASS CAP MARKING THE 3-1/2 MILE MARKER ALONG THE WEST BOUNDARY OF THE SANTA FE GRAND BARRIO NEAR 400' W. 722.08 FEET THENCE, FROM SAID POINT AND PLACE OF BEGINNING, ALONG SAID ROW:

N04°15'17"E, 26.75 FEET TO A FOUND 3/4" IRON ROD, THENCE 45.00 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 520.00 FEET, BEARING OF 0202°38' AND A CHORD OF WHICH BEARS N08°30'27"E, 48.02 FEET TO A SET SMITH AND WILLIAMSON CAPPED BRASS MONUMENT DEPARTING S10 R.O.W.

S10°00'00"E, 12.00 FEET TO A SET SMITH AND WILLIAMSON CAPPED BRASS MONUMENT DEPARTING S10 R.O.W.

S20°00'00"E, 12.00 FEET TO A SET SMITH AND WILLIAMSON CAPPED BRASS MONUMENT DEPARTING S10 R.O.W.

N02°10'00"W, 664.31 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 2.0113 ACRES, MORE OR LESS.

480-709

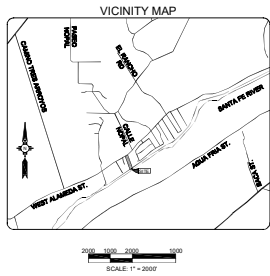
COUNTY OF SANTA FE
COUNTY CLERK
JULY 27 1995
SANTA FE COUNTY, NEW MEXICO

Witness my hand and Seal of Office
County Clerk
Judy ...

SHEET 2-1

<p>NOTING INFORMATION FOR COUNTY CLERK</p> <p>LOT CONSOLIDATION SURVEY</p> <p>MARGARET W. TERRELL</p> <p>2180 WEST ALAMEDA</p> <p>SUBDIVISION</p>	<p>SMITH & WILLIAMSON ASSOCIATES</p> <p>1170 L.L. Road, Santa Fe, New Mexico 87502</p> <p>(505) 843-2124 FAX (505) 843-2391</p>	<p>LOT CONSOLIDATION SURVEY PREPARED FOR</p> <p>MARGARET W. TERRELL</p> <p>OF LANDS AT 2180 WEST ALAMEDA, CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO</p> <p>SCALE: 1" = 40'</p> <p>DATE: JULY 1995</p> <p>DATE: J.E.C. 4591</p>
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**LOS CANALES DEVELOPMENT PLAN
2190 WEST ALAMEDA STREET**



GENERAL NOTES

- METES AND BOUNDS DESCRIPTIONS OF LOTS, ROADWAYS, DRAINAGE, UTILITY, AND ACCESS RIGHTS-OF-WAYS AND/OR EASEMENTS ARE DESCRIBED ON THE SURVEY PLAN.
- PER SFCC § 14-7.2, TABLE 14-7.2-1, BUILDING SETBACKS ARE ESTABLISHED BY THIS DEVELOPMENT PLAN AND SHALL APPLY TO ALL PERMANENT STRUCTURES, INCLUDING ACCESSORY STRUCTURES.
- NEW STRUCTURES AND/OR ADDITIONS ARE NOT LIMITED TO STRUCTURES SHOWN HEREON, AND FUTURE DEVELOPMENT IS SUBJECT TO ESTABLISHED BUILDING SETBACKS, APPLICABLE PROVISIONS OF SFCC CHAPTER 14, AND BUILDING PERMIT REQUIREMENTS.
- SITE AND INDIVIDUAL UNIT FENCING AND OUTDOOR STORAGE LOCATIONS TO BE DETERMINED AT TIME OF BUILDING PERMIT.
- PROPERTY WILL BE SUBJECT TO THE WATER ALLOCATION AND/OR WATER OFFSET RETROFIT PROVISIONS OF ORDINANCE NO. 2002-29 AND RESOLUTION 2003-55 AT THE TIME OF PERMIT APPLICATION OR WATER HOOKUP REQUEST. COMPLIANCE SHALL BE ACHIEVED BY USE OF RETROFIT CREDITS OR WATER TRANSFERS, IF APPLICABLE. COMPLIANCE WITH THE CURRENT COSF WATER CONSERVATION STAGE IS REQUIRED.
- ACCESSIBILITY FEATURE DESIGN WITHIN THE SITE SHALL COMPLY WITH NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) PEDESTRIAN ACCESS ROUTE DETAILS (SERIAL 608) OR MUST DEMONSTRATE COMPLIANCE WITH APPLICABLE AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS BY OTHER MEANS AS PROVIDED IN THE PERMITTED CONSTRUCTION DOCUMENTS.
- FENCES, WALLS OR OTHER OBSTRUCTIONS SHALL NOT BE PLACED OR CONSTRUCTED ACROSS PUBLIC SANITARY SEWER EASEMENTS.
- ALL PROPOSED CHANGES TO THE APPROVED IMPROVEMENT PLANS SHALL RECEIVE PRIOR APPROVAL BY THE CITY OF SANTA FE PLANNING AND LAND USE DEPARTMENT BEFORE CONSTRUCTION.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF THE COSF ORDINANCE NO. 2008-02 (IMPACT FEES).
- PROPERTY DEVELOPMENT, BOTH PUBLIC AND PRIVATE OWNERSHIP, SHALL COMPLY WITH THE COSF ORDINANCE NO. 2002-20 (TERRAIN AND STORMWATER MANAGEMENT) AT THE TIME OF BUILDING PERMIT APPLICATION.
- PROPERTY DEVELOPMENT IS SUBJECT TO THE PROVISIONS OF SECTION 14-8.4(F)(5), "PLANT MATERIAL STANDARDS," WHEREIN PRESERVATION OF SIGNIFICANT TREES IS REQUIRED.
- FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL DEVELOPMENT CONSTRUCTION PHASES AS PER IFC 1410.1.
- PERMANENT TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER APPROVED PLAN BY THE DEVELOPER.
- PRIVATE DRIVEWAYS AND ASSOCIATED PARKING WITHIN THE DEVELOPMENT SHALL BE MAINTAINED BY THE LOS CANALES CONDOMINIUM OWNER'S ASSOCIATION.
- THIS DEVELOPMENT DOES NOT LIE WITHIN A HISTORIC DISTRICT.
- THIS DEVELOPMENT LIES WITHIN THE RIVER AND TRAILS ARCHAEOLOGICAL REVIEW DISTRICT.

DUST CONTROL NOTES

ALL ON-SITE SOIL DISTURBING CONSTRUCTION ACTIVITIES SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBORING PROPERTIES.

ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTHMOVING AND/OR DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO MITIGATE OFF-PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS.

A PLAN, OR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) WHEN APPLICABLE, LISTING THE BEST MANAGEMENT PRACTICES SHALL BE PROVIDED TO THE CITY ENGINEER, OR HIS/her DESIGNEE, FOR REVIEW AND APPROVAL. THE APPROVED BMPs SHALL BE APPLIED TO THE GRADED AND/OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE.

THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SURFACE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.

SOME BMPs SHALL INCLUDE:

- THE REDUCTION OF VEHICLE SPEEDS: ESTABLISH A MAXIMUM SPEED LIMIT OR INSTALL TRAFFIC CALMING DEVICES TO REDUCE SPEEDS TO A RATE TO MITIGATE OFF-PROPERTY TRANSPORT OF DUST ENTRAINED BY VEHICLES.
- THE MINIMIZATION OF DROP HEIGHT: DRIVERS AND OPERATORS SHALL UNLOAD TRUCK BEDS AND LOADER OR EXCAVATOR BUCKETS SLOWLY AND MINIMIZE DROP HEIGHT OF MATERIALS TO THE LOWEST HEIGHT POSSIBLE, INCLUDING SCREENING OPERATIONS.
- HIGH WINDS RESTRICTION: TEMPORARILY HALT WORK ACTIVITIES DURING HIGH WIND EVENTS GREATER THAN 30 MPH IF OPERATIONS WOULD RESULT IN OFF-PROPERTY TRANSPORT.
- RESTRICT ACCESS: RESTRICT ACCESS TO THE WORK AREA TO ONLY AUTHORIZED VEHICLES AND PERSONNEL.

IN THE EVENT THE ABOVE PRACTICES ARE INEFFECTIVE TO PREVENT OFF PROPERTY TRANSPORT, THE PERSON, OWNER OR OPERATOR SHALL USE ONE OR MORE OF THE FOLLOWING BMPs:

- WET SUPPRESSION: APPLY WATER TO DISTURBED SOIL SURFACES, BACKFILL MATERIALS, SCREENINGS AND OTHER DUST GENERATING OPERATIONS AS NECESSARY AND APPROPRIATE CONSIDERING CURRENT WEATHER CONDITIONS, AND PREVENT WATER USED FOR DUST CONTROL FROM ENTERING ANY PUBLIC RIGHT-OF-WAY, STORM WATER DRAINAGE FACILITY, OR WATERCOURSE.
- WIND BARRIER: CONSTRUCT A FENCE OR OTHER TYPE OF WIND BARRIER TO PREVENT WIND EROSION OF THE GRADED OR DISTURBED SURFACE.
- VEGETATION: PLANT VEGETATION APPROPRIATE FOR RETAINING SOILS OR CREATING A WIND BREAK.
- SURFACE ROUGHENING: STABILIZE AN ACTIVE CONSTRUCTION AREA DURING PERIODS OF INACTIVITY WHEN VEGETATION CANNOT BE IMMEDIATELY ESTABLISHED.
- COVER: INSTALL COVER MATERIALS SUCH AS TACKIFIERS, EROSION CONTROL BLANKETS, GRAVEL, VEGETATION (WHEN APPROPRIATE), COLD-MILLINGS, ETC. DURING PERIODS OF INACTIVITY AND PROPERLY ANCHOR THE COVER.
- SOIL RETENTION: STABILIZE DISTURBED OR EXPOSED SOIL SURFACE AREAS THAT WILL BE INACTIVE FOR MORE THAN 30 DAYS OR WHILE VEGETATION IS BEING ESTABLISHED.

AFFIDAVIT

KNOW ALL PERSONS BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED, ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

HOMEWISE, INC.

THE FOREGOING WAS SWORN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES

STORMWATER AGREEMENT

PROPERTY OWNER(S) HEREBY AGREE THAT ALL STORMWATER EASEMENTS AND ANY OTHER DRAINAGE IMPROVEMENTS ON PRIVATE PROPERTY WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDARIES; THE CITY HAS THE RIGHT OF ACCESS FOR INSPECTION OF SAID IMPROVEMENTS, THE CITY HAS THE RIGHT, IN THE EVENT OF DRAINAGE FACILITY MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE FULL FUNCTIONAL CAPACITY OF THE DRAINAGE IMPROVEMENTS, AND TO LIEN THE PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.

HOMEWISE, INC.

THE FOREGOING WAS SWORN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES

DRAINAGE FACILITY MAINTENANCE SCHEDULE (+30 DAYS) SHALL BE AS FOLLOWS:

- ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE LOS CANALES CONDOMINIUM OWNER'S ASSOCIATION.
- THE DRAINAGE FACILITIES MAINTENANCE SCHEDULE SHALL BE AS FOLLOWS: MARCH 15TH, SEPTEMBER 15TH AND AFTER STORMS OF ONE INCH OR GREATER.
 - FLUSH ALL CULVERTS AND DRAIN PIPES TO REMOVE SEDIMENT AND VEGETATION.
 - FLUSH STORM DRAIN MANHOLES AND DROP INLETS.
 - IF SEDIMENT IN PONDS IS DEEPER THAN 6 INCHES, REMOVE AND RESEED WITH NATIVE GRASSES.
 - CHECK POND DRAINS AND RIP-RAP INTEGRITY. REPAIR AS NECESSARY.
 - CHECK FOR SOIL EROSION WITHIN AND AROUND ALL SWALES, FILL SLOPES, CUT SLOPES AND RETAINING WALLS. UNSTABILIZED SOILS SHALL BE STABILIZED WITH VEGETATION, ROCK PLATING OR EROSION MATS.

COUNTY OF SANTA FE } ss
STATE OF NEW MEXICO }

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THIS _____ DAY OF _____ A.D. 20____ AT _____ O'CLOCK _____ M. AND WAS DULY RECORDED IN BOOK _____ PAGE _____ OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE VALERIE ESPINOZA
COUNTY CLERK SANTA FE COUNTY NM

DEPUTY

DEVELOPMENT PLAN SIGNATURES

APPROVED BY THE SANTA FE PLANNING COMMISSION AT THEIR MEETING OF _____ AS PLANNING & DEVELOPMENT REVIEW CASE NO. _____

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

PLANNING COMMISSION SECRETARY _____ DATE _____

REVIEWED BY THE SANTA FE LAND USE DEPARTMENT

CITY PLANNER _____ DATE _____

CITY ENGINEER FOR LAND USE _____ DATE _____

INFRASTRUCTURE CONSTRUCTION ADDRESS:
2190 W ALAMEDA STREET

CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN OFF	DATE
WATERWATER MANAGEMENT DIV	SIGNATURE	ON FILE
WATER SERVICES		
STREETS DIV		
TRAFFIC DIV		
FIRE		
LANDSCAPE		
SUBDIVISION ENGINEER		



REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO

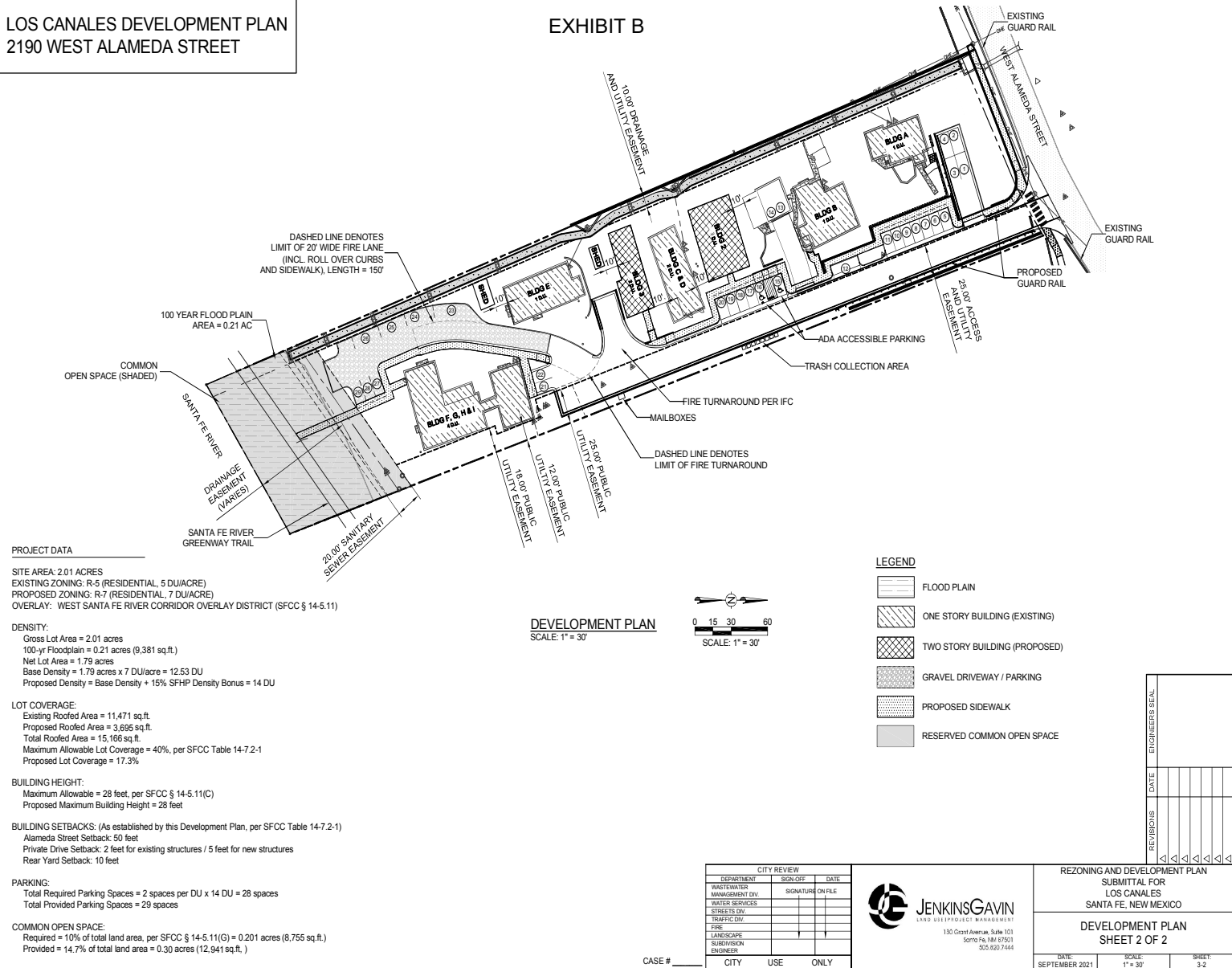
DEVELOPMENT PLAN SHEET 1 OF 2

DATE: SEPTEMBER 2021	SCALE: 1" = 30'	SHEET: 3-1
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ENGINEER'S SEAL	DATE								
	REVISIONS								

**LOS CANALES DEVELOPMENT PLAN
2190 WEST ALAMEDA STREET**

EXHIBIT B



PROJECT DATA

SITE AREA: 2.01 ACRES
 EXISTING ZONING: R-5 (RESIDENTIAL, 5 DU/ACRE)
 PROPOSED ZONING: R-7 (RESIDENTIAL, 7 DU/ACRE)
 OVERLAY: WEST SANTA FE RIVER CORRIDOR OVERLAY DISTRICT (SFCC § 14-5.11)

DENSITY:
 Gross Lot Area = 2.01 acres
 100-yr Floodplain = 0.21 acres (9,381 sq.ft.)
 Net Lot Area = 1.79 acres
 Base Density = 1.79 acres x 7 DU/acre = 12.53 DU
 Proposed Density = Base Density + 15% SFHP Density Bonus = 14 DU

LOT COVERAGE:
 Existing Roofed Area = 11,471 sq.ft.
 Proposed Roofed Area = 3,695 sq.ft.
 Total Roofed Area = 15,166 sq.ft.
 Maximum Allowable Lot Coverage = 40%, per SFCC Table 14-7.2-1
 Proposed Lot Coverage = 17.3%

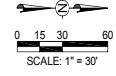
BUILDING HEIGHT:
 Maximum Allowable = 28 feet, per SFCC § 14-5.11(C)
 Proposed Maximum Building Height = 28 feet

BUILDING SETBACKS: (As established by this Development Plan, per SFCC Table 14-7.2-1)
 Alameda Street Setback: 50 feet
 Private Drive Setback: 2 feet for existing structures / 5 feet for new structures
 Rear Yard Setback: 10 feet

PARKING:
 Total Required Parking Spaces = 2 spaces per DU x 14 DU = 28 spaces
 Total Provided Parking Spaces = 29 spaces

COMMON OPEN SPACE:
 Required = 10% of total land area, per SFCC § 14-5.11(G) = 0.201 acres (8,755 sq.ft.)
 Provided = 14.7% of total land area = 0.30 acres (12,941 sq.ft.)

DEVELOPMENT PLAN
 SCALE: 1" = 30'



LEGEND

- FLOOD PLAIN
- ONE STORY BUILDING (EXISTING)
- TWO STORY BUILDING (PROPOSED)
- GRAVEL DRIVEWAY / PARKING
- PROPOSED SIDEWALK
- RESERVED COMMON OPEN SPACE

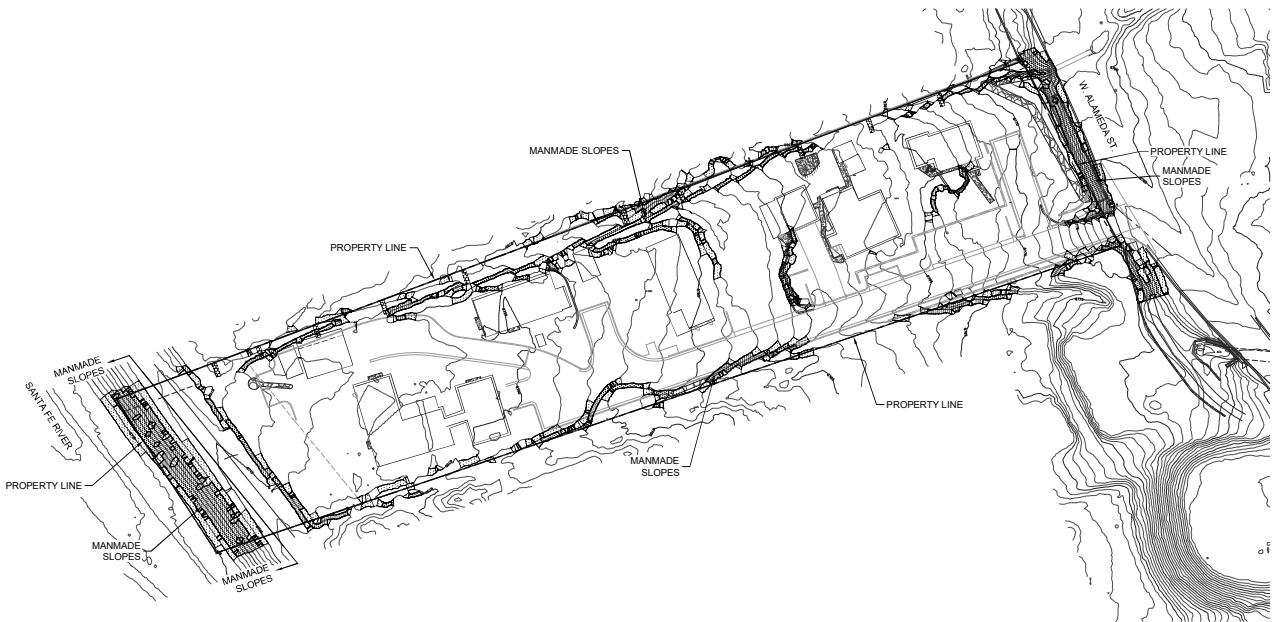
ENGINEER'S SEAL	
REVISIONS	
DATE	

CITY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WASTEWATER MANAGEMENT DIV.	SIGNATURE ON FILE	
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE SUPERVISOR		
ENGINEER		

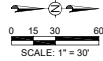
JENKINS GAVIN
 LAND DEVELOPMENT ENGINEERS
 130 Grant Avenue, Suite 101
 Santa Fe, NM 87501
 505.820.7444

REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
DEVELOPMENT PLAN SHEET 2 OF 2		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 30'	3-2

CASE # _____ CITY USE ONLY



SLOPE ANALYSIS MAP
 SCALE: 1" = 30'
 CONTOUR INTERVAL= 1'



LEGEND	
	GRADING LIMITS
	AREA OF 20% TO 30% SLOPE
	AREA OF 30% AND GREATER SLOPE
THERE ARE NO 30% AND GREATER NATURAL SLOPES BEING DISTURBED WITHIN THE GRADING LIMITS ON THIS PROJECT.	

CITY REVIEW		
DEPARTMENT	SIGN. OFF.	DATE
WASTEWATER MANAGEMENT DIV.	SIGNATURE	ON FILE
TRAFFIC DIV.		
STREETS DIV.		
TRAFFIC DIV.		
LANDSCAPE SUBDIVISION		
ENGINEER		

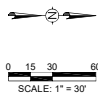
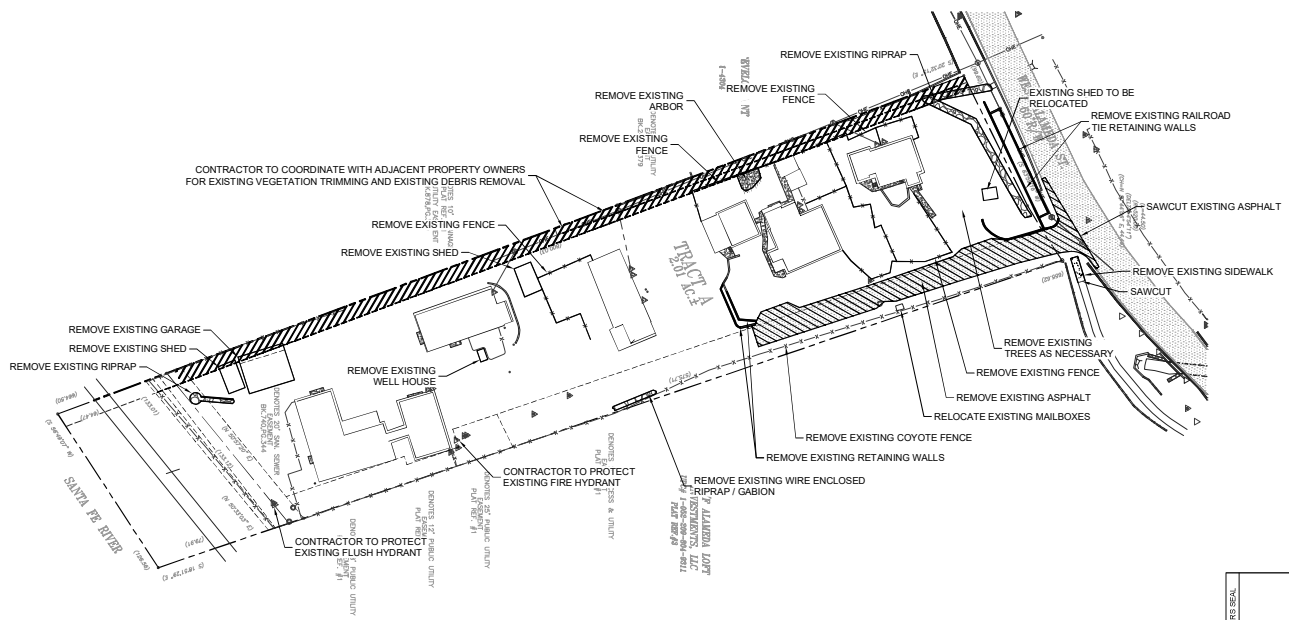
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 1598 St. Francis Drive, Suite B
 Santa Fe, N. M. 87505
 (505) 982-2845 Fax (505) 982-2841
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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
SLOPE ANALYSIS MAP		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 30'	5-1

REVISIONS	DATE	ENGINEER'S SEAL

CASE # _____

CITY USE ONLY



DEMOLITION PLAN
SCALE: 1" = 30'

CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WATERWORKS MANAGEMENT DIV.	SIGNATURE	ON FILE
TRAFFIC DIV.		
STREETS DIV.		
PLANNING DIV.		
LANDSCAPE SUBDIVISION		
ENGINEER		
CITY	USE	ONLY

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1599 St. Francis Drive, Suite B
Santa Fe, N. M. 87505
(505) 982-2845 Fax (505) 982-2841
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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
DEMOLITION PLAN		
DATE SEPTEMBER 2021	SCALE 1" = 30'	SHEET 5-2

REVISIONS	DATE	ENGINEER'S SEAL

CITY OF SANTA FE PUBLIC INFRASTRUCTURE GENERAL CONSTRUCTION NOTES

- All construction shall conform to the requirements of City of Santa Fe Standard Drawings and Specifications as applicable.
- Utility construction shall conform to applicable sections of the APWA's "New Mexico Standard Specifications for Public Works Construction, 2006 edition including latest published amendments.
- Infrastructure construction shall conform to applicable sections of the New Mexico Department of Transportation's "Standard Specifications for Highway and Bridge Construction, Current Edition (SSHBC).
- The order of precedence shall be, listed in order of highest precedence, the project specifications, plans, City of Santa Fe Standard Drawings, SSHBC, and APWA.
- In the case of conflicts between plans and specifications resolution shall be by using the more restrictive requirement as determined by the project engineer and approved by the City.
- The project plans shall be approved for construction by the City prior to any construction activity and scheduling a pre-construction meeting.
- The construction Project Engineer shall be a New Mexico licensed Professional Engineer in the appropriate category for the type of work represented by the project plans. The Project Engineer shall arrange for a pre-construction meeting prior to the start of construction or mobilization of equipment on-site and after receipt of the financial guaranty. At the pre-construction meeting, the Project Engineer shall submit a letter providing the name(s) of specific individuals who will be performing what type of inspections and respective telephone contact number(s), this includes preparation of the record drawings. The pre-construction meeting shall be scheduled a minimum of 10 calendar days in advance of the meeting date.
- Attendance at the pre-construction meeting is mandatory.
- The Contractor shall provide a list of contact personnel responsible for site construction including position, telephone numbers, and at least one emergency telephone number active on a 24 hour basis.
- If an EPA Notice of Intent (NOI) is applicable, a copy of the mailed permit application shall be presented at the pre-construction meeting along with a written statement giving the mailing date.
- The Contractor shall be responsible for maintaining the integrity of all underground utilities during the course of work regardless of any location shown on the plans or other field evidence, or lack thereof. Notification to New Mexico One Call at 1-800-321-2537 for utility locates a minimum of 48 hours in advance of any excavation is required. Maintenance of utility locates shall be continued throughout the project life.
- The Owner shall be responsible for all changes in construction deemed necessary for any reason and shall have appropriate plans and/or specifications, including applicable design criteria, prepared by a New Mexico Professional Engineer and submitted to the City for approval. Upon approval, said changes may be incorporated into the project.
- Final Record Drawings, reflecting substantial changes to the original design drawings, shall be submitted by the Contractor's Surveyor for approval to the Engineer. Said plans shall be approved by applicable City Divisions prior to final acceptance of project work for maintenance responsibility and the beginning of the warranty period. Under no circumstances will partial acceptance and/or warranty commencement begin for any component of project scope be provided.
- All Contractor work activity shall be confined to the construction limits of the project. There shall be no encroachment onto adjacent properties, either construction or marshaling yard(s) unless legal easements(s)/agreement(s) is/are executed and approved by the Engineering Supervisor.
- Grading shall be completed under the authority of a Building Permit, the application of which shall show the type of work as "Other" with the notation of Grading, Landscaping, and Infrastructure shown thereon. Call 505-955-6945 for permit information.
- All cut and fill slopes, including setback requirements, shall conform to the requirements of:
 - Santa Fe City Code's Article 14-8 (Development and Design Standards);
 - Chapter 33 of the Uniform Building Code, 1997 edition unless otherwise noted on the approved construction plans; and
 - In the case of conflict between these two specifications, City Code shall prevail.
- The Contractor is responsible for any damage caused by construction activities to public or private property, including utilities.
- Material quality testing shall be completed by the Contractor, through a recognized testing laboratory. The laboratory shall be under the auspices of a New Mexico Professional Engineer.
- All material quality test reports shall be provided directly to the City Planning Department, attention Permits and Development Review Division at P.O. Box 503, Santa Fe, New Mexico 87504-0009 within seven (7) calendar days after laboratory material testing is complete unless otherwise directed during the pre-construction meeting. Field test reports shall be provided directly to the P&DR staff at the time of field testing. In the case of P&DR staff absence, the reports shall be faxed to 505-955-6829. In each case, all test reports and other communication shall carry the applicable P&DR Case and Building Permit project numbers which will be provided at the pre-construction meeting if not noted on the approved project plans.
- Compaction testing of soil and similar materials, including optimum moisture-density relationships, shall be performed in accordance with the referenced specifications and/or plans. Unless specified in individual project plans, the frequency of compaction testing shall be one (1) test per 1.5 vertical feet of fill or backfill of similar material; within two (2) horizontal feet of structures; for each 500 linear feet of trench backfill or each days compactive effort, whichever results in the greatest quantity of tests; or for each 500 cubic yards of fill of similar material; or as directed by the Engineer.
- Portland cement concrete (Pcc) proposed to be used for the project shall conform to a mix design prepared by a New Mexico Professional Engineer. The design shall be provided to P&DR staff for approval a minimum of 14 calendar days prior to scheduling the initial casting operation or, alternatively, the project plans shall define a specific mix having a prior approval by P&DR. Each mix shall have the following minimum properties:
 - Compressive strength of 4,000 psi in 28 calendar days
 - Seven (7.0) bags of cementitious material per cubic yard of concrete
 - Twenty (20.0) percent or less of flyash material substitution for cement
 - Maximum aggregate size of 3/4"
 - Air entrainment content ranging between 4.0 and 7.0 percent at the point of concrete delivery into forms
- Concrete sample set shall consist of a minimum of three (3) cylinders. One sample set shall be obtained for each 500 linear feet cast, 50 cast cubic yards, or one (1) set per calendar day, whichever is greatest, or as directed by the Engineer. Cylinders shall be tested at 7, 28, and 56 day intervals; the 56 day interval need not be tested if any previous test result exceeds the design value.
- Traffic control devices, as per approved plan, shall be installed, maintained, and removed by the Contractor. Said devices shall conform to the latest published edition of the Manual of Uniform Traffic Control Devices and to written directions from the City Traffic Engineer who may be reached at 505-955-6631.
- Site erosion and/or sediment control, as per approved plan, shall be installed, maintained, and removed by the Contractor. The Contractor's attention is directed to the SSHBC's Section 603 for other requirements relating to dust abatement and similar issues.
- Utility lines must be bored under all existing street Pcc street appurtenances. A minimum of 12" separation must be maintained between utility lines. Any curb, gutter, or other damage must be repaired before final inspection will be given.
- Each City utility division shall provide a letter of completed installation, not necessarily accepted for warranty, at the Contractor's request. Said letters shall be provided to the P&DR staff and received written staff acceptance prior to scheduling either TV inspection of SAS; and Storm Sewer lines or placement of roadway pavement material.
- ASTM, ASHTO, or independent laboratory certificates of material compliance are to be provided to P&DR staff prior to bringing applicable material on site.
- Aggregate base course material shall conform to the SSHBC's Section 304 using Gradation I.
- Hot Mix Asphalt (HMA) proposed to be used for the project shall conform to a mix design prepared by a New Mexico Professional Engineer conforming to SSHBC's Section 423 using Aggregated Classification(s) called for in the project plans. The design shall be provided to

- P&DR staff for approval a minimum of 14 calendar days prior to scheduling the initial paving operation or, alternatively, the project plans shall define a specific mix having a prior approval by P&DR.
- Compaction testing of subgrade, aggregate base course, and each lift of HMA material shall be completed for every 100 linear feet of roadway length excepting for HMA material in which case provide one (1) test for every 100 linear feet of laydown machine pass; or as directed by the Engineer.
- HMA material quality test samples (wet) shall be obtained and tested for every 500 tons or fraction thereof or one (1) sample per day.
- Utility appurtenance such as telephone pedestals, electrical transformers, gas, and cable TV pedestals shall be placed outside the public right-of-way and within utility easements. The Owner is responsible for relocating mis-placed utility structures prior to requesting a pre-final inspection. Water meter boxes and fire hydrants may be placed between the sidewalk and curb. Water valve and meter boxes are not to be placed within maintenance areas of semi-improved (gravel or equal) roads.
- Construction debris and/or excess material shall be stored in an on-site area and appropriately contained. Said debris shall not be a nuisance to the surrounding neighborhood. Disposal of debris shall be either within the city limits under separate grading permit or at a designated NMEI approved disposal site. The Contractor shall provide written notice as to proposed debris disposal site location(s). All debris and/or excess material shall be removed from the site prior to scheduling a pre-final inspection with P&DR staff.
- Interim terrain and stormwater management inspections shall be arranged for at the following events:
 - Completion of temporary erosion control best management installations and prior to any earthwork (clearing, grubbing, etc.)
 - Final stormwater management features are constructed
 - Final site restoration measures are completed
 - Further construction or issuance of any permit(s) shall not occur until written approval by P&DR staff for each of the above inspections has been obtained. Inspections shall be scheduled by calling 505-955-6646.
- The Contractor shall make written request for a pre-final inspection of terrain management and infrastructure works a minimum of 14 calendar days in advance with P&DR staff. At this inspection, applicable city division staff will review the final work product. Any deficiencies will be noted in a "punchlist" and provided to the Contractor for correction. When all punchlist items are completed the Contractor shall file a written statement to that effect and a final inspection will be held by P&DR staff. Upon acceptance, an acceptance letter will be provided wherein all work will be accepted for maintenance by the City and the commencement of the warranty period initiated.
- All surveys to be performed under the supervision of a Professional Land Surveyor, licensed in the State of New Mexico.
- ADA compliance: The contractor shall ensure ADA compliance for construction of ADA features and appurtenances (including, but not limited to, sidewalk & curb ramp cross slopes, ramp slopes, level landings, etc.) as detailed in the plans and in accordance with referenced standard drawings, specifications and current public right of way accessibility guidelines. The contractor is responsible for field checking slopes and dimensions of all form work for compliance prior to installation of concrete. The City reserves the right to inspect any ADA features and appurtenances at any time before final completion of the project and to have the contractor remove, replace, and/or correct any work at his cost that is not in compliance, as determined by the project manager.

ADDITIONAL CONSTRUCTION NOTES

- The contractor's surveyor shall coordinate with Rick Chatrop, Professional Land Surveyor. The contractor's surveyor shall verify proposed grades, invert elevations, flow lines, alignments, property lines, right of way, setbacks, and topography prior to construction. Any deviations shall be reported to the engineer.
- The contractor shall maintain existing fencing, or build new fencing to ensure that the site is secure at all times.
- It is solely the contractor's responsibility to meet OSHA requirements and to maintain a safe working condition.
- Santa Fe Engineering Consultants, LLC, waives any and all responsibility and is not liable for problems which arise from failure to follow these plans, specifications and the design intent they convey or for problems which arise from failure to obtain and/or follow SFEC guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts.
- Television inspection to be provided by private contractor, not the City.
- Pot holding, construction water, T.V. inspections, flushing and cleaning of sanitary sewer lines or storm sewers are incidental to the work and no separate payment will be made.
- The existing utility locations shown on these plans have been compiled from multiple sources, including utility locates, and field surveys. It is the contractor's responsibility to verify and pothole any potential utility conflicts. The contractor is responsible for any damage caused by construction activities to public or private property, including utilities.
- The contractor shall maintain an up to date set of as-built plans for the project. These plans shall be kept current, within two weeks, at all times and shall be subject to review by the project manager throughout the project and will be reviewed by the project manager for accuracy and completeness at least once every 30 days. Upon 50% completion of the project, the contractor shall submit progress as-built plans to the project manager for review. The final as-built plans bearing the signed seal and certification of the contractor's surveyor shall be submitted to the project manager prior to any final payment. This work is considered incidental to completion of the project and no measurement or payment shall be made.

CASE #

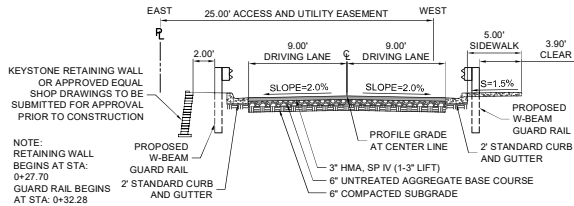
CITY REVIEW			
DEPARTMENT	SIGNATURE	DATE	DATE
WATER TOWER MANAGEMENT DIV			
WATER SERVICES			
STREETS DIV			
UTILITIES DIV			
TRAFFIC DIV			
FIRE			
LANDSCAPE SUBDIVISION			
ENGINEER			

SFE Santa Fe Engineering Consultants, LLC
 1599 St. Francis Drive, Suite B
 Santa Fe, N. M. 87505
 (505) 962-2845 Fax (505) 962-2641
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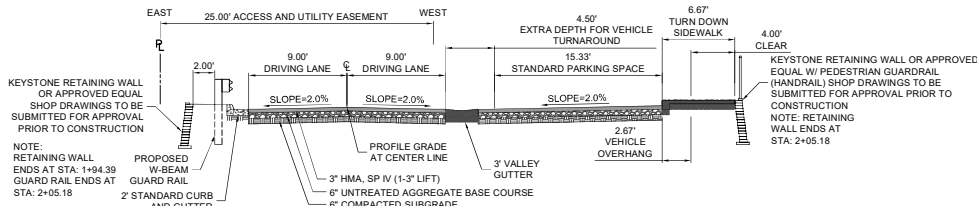
REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
GENERAL NOTES		
DATE	SCALE	SHEET
SEPTEMBER 2021	N.T.S.	6/2

REVISIONS	DATE								
	DESCRIPTION								

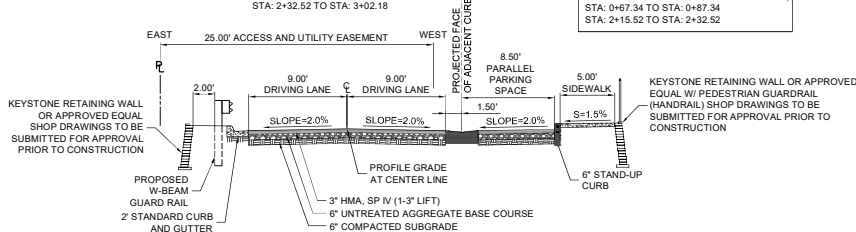
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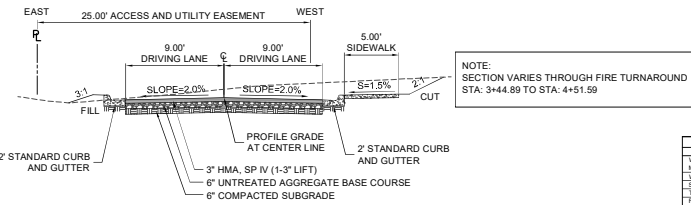
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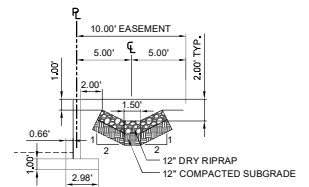
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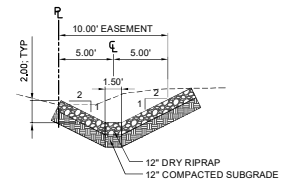
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STA: 1+58.17 TO STA: 2+15.52



TYPICAL ROADWAY SECTION - ACCESS DRIVEWAY
STA: 3+44.89 TO STA: 4+51.59



TYPICAL CHANNEL SECTION W/ WALL



TYPICAL CHANNEL SECTION

CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN. OFF.	DATE
WATERWORKS MANAGEMENT DIV.		
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STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE SUBDIVISION		
ENGINEERS		
CITY	USE	ONLY

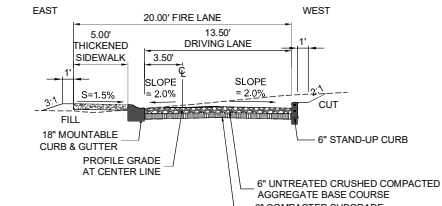
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1599 St. Francis Drive, Suite B
Santa Fe, N. M. 87505
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REZONING AND DEVELOPMENT PLAN
SUBMITTAL FOR
LOS CANALES
SANTA FE, NEW MEXICO

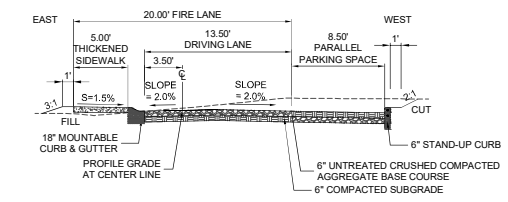
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DATE	SCALE	SHEET
SEPTEMBER 2021	N.T.S.	6-3

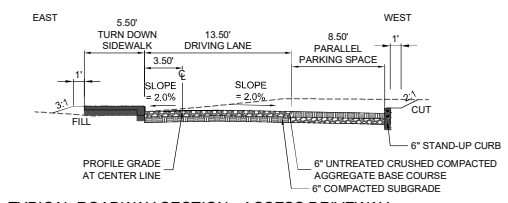
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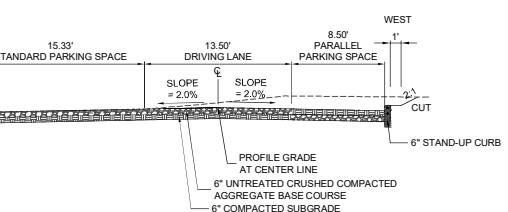
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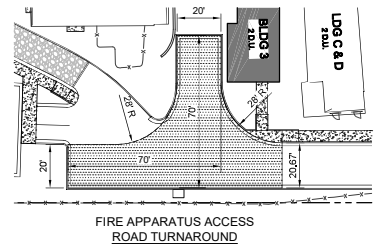
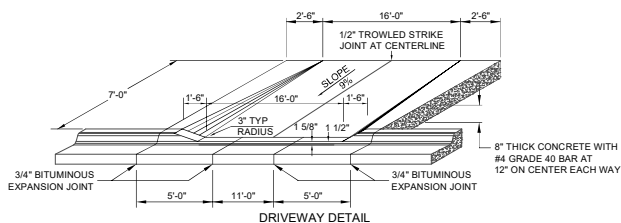
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TYPICAL ROADWAY SECTION - ACCESS DRIVEWAY
STA: 5+62.04 TO 5+93.62



TYPICAL ROADWAY SECTION - ACCESS DRIVEWAY
STA: 5+93.62 TO 6+33.62



FIRE APPARATUS ACCESS ROAD TURNAROUND

CITY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WATERWORKS		
MANAGEMENT DIV.	SIGNATURE	ON FILE
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TRAFFIC DIV.		
PLANNING		
LANDSCAPE		
SUBDIVISION		
ENGINEERS		

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1599 St. Francis Drive, Suite B
Santa Fe, N.M. 87505
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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
TYPICAL SECTIONS		
DATE	SCALE	SHEET
SEPTEMBER 2021	N.T.S.	6-4

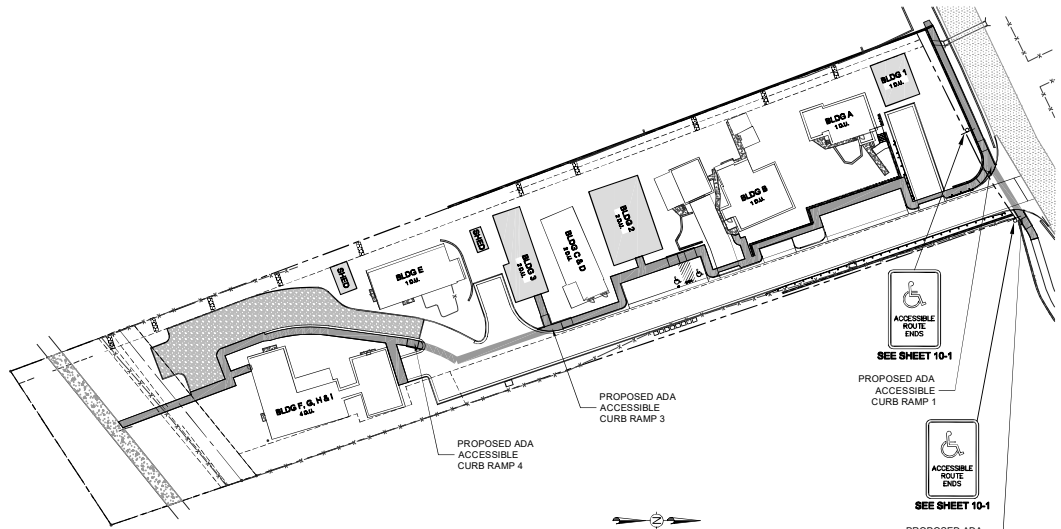
REVISIONS	DATE	ENGINEER'S SEAL

CASE # _____

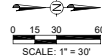
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ADA COMPLIANCE GENERAL NOTES

1. THE CONTRACTOR SHALL ENSURE ADA COMPLIANCE FOR CONSTRUCTION OF REQUIRED ADA ACCESSIBLE FEATURES AND APPURTENANCES, AND AS DETAILED IN THE APPROVED CONSTRUCTION PERMIT DOCUMENTS.
2. ALL CONSTRUCTION WORK SHALL COMPLY WITH, IN ORDER OF PRECEDENCE, SANTA FE CITY CODE, GOVERNOR'S COMMISSION ON DISABILITY (GCD), ICC ANSI A117.1-2009, CHAPTERS 1-5 AND CHAPTER 7, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CURRENT EDITION), AND AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS.
3. CURB RAMP SHALL FOLLOW NMDOT PEDESTRIAN ACCESS ROUTE DETAILS (SERIAL 608) WITH REQUIRED TURNING SPACE AND 7% RUNNING SLOPES TYPICAL AND 8.3% MAXIMUM. CURB RAMP LANDING TYPICAL SLOPE IS 1% AND SHALL NOT EXCEED 2% RUNNING AND CROSS SLOPE.
4. SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT HANDRAIL(S). CROSS SLOPES SHALL NOT EXCEED 2%.
5. PROVIDE DETECTABLE WARNING SURFACES AT CURB RAMP AND TRANSITIONS TO DRIVEWAY AND INTERSECTION CROSSINGS ALONG THE ACCESSIBLE PATHS OF TRAVEL.
6. PER ICC ANSI A117.1-2009, SIDEWALKS SHALL COMPLY WITH SECTION 302, FLOOR SURFACE, 303.4 RAMPS, 401 ACCESSIBLE ROUTES, 403 WALKING SURFACES, 405 RAMPS.
7. ALL PARKING AND WALK SURFACES ALONG THE ACCESSIBLE PATH OF TRAVEL SHALL BE FIRM, STABLE AND SLIP RESISTANT.
8. ANSI 502.7 SIGNAGE WITH REQUIRED LANGUAGE ARE REQUIRED AT ALL ADA PARKING SPACES. PARKING SIGNAGE HEIGHT PER CITY OF SANTA FE CODE IS 7'-0" TO BOTTOM OF SIGN. LOCATE VAN ACCESSIBLE PARKING SIGN IMMEDIATELY BELOW THE RESERVED PARKING SIGN AT WALL MOUNTED LOCATIONS AND 6" TO BOTTOM OF VAN ACCESSIBLE SIGN AT SIGNS LOCATED THE IN PEDESTRIAN WAY. SEE DETAIL, SHEET C-204.
9. ACCESSIBLE PARKING SPACE GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION.
10. VAN ACCESSIBLE PARKING SPACES SHALL BE 8'-0" WIDE WITH AN 8'-0" WIDE ACCESS AISLE OR 11'-0" WIDE WITH A 5'-0" WIDE ACCESS AISLE. SEE DETAIL, SHEET C-204.
11. WHEEL STOPS ARE ENCOURAGED AT ALL ADA ACCESSIBLE PARKING SPACES TO HELP ENSURE REQUIRED CLEARANCE ALONG THE ACCESSIBLE PATH OF TRAVEL IS MAINTAINED.
12. WHERE EXISTING SIDEWALKS ADJOIN NEW ADA ACCESSIBLE FEATURES, THE CONTRACTOR SHALL PROVIDE FOR MODIFICATIONS WHERE POSSIBLE AND AS NECESSARY TO PROVIDE FOR UNINTERRUPTED, CONTINUOUS ACCESS BETWEEN EXISTING AND NEW WORK.

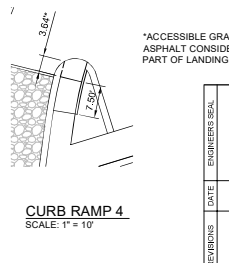
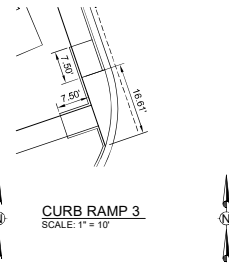
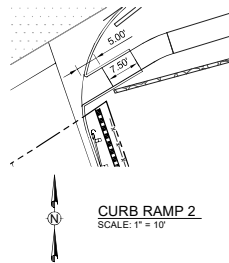
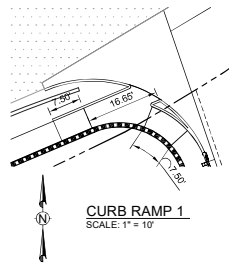


ADA ACCESS PLAN
SCALE: 1" = 30'



LEGEND

— ADA ACCESSIBLE ROUTE



*ACCESSIBLE GRADES AT ASPHALT CONSIDERED PART OF LANDING

CASE #

CITY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WATERWORKS		
MANAGEMENT DIV.	SIGNATURE	ON FILE
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE		
SUBDIVISION		
ENGINEERS		
CITY	USE	ONLY

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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
ADA ACCESS PLAN		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 30'	6-6

REVISIONS	DATE	ENGINEER'S SEAL

CITY OF SANTA FE WASTEWATER MANAGEMENT DIVISION GENERAL NOTES

1. Prior to the Wastewater Management Division approval of the plan set, a letter will be required from the project engineer indicating they are providing the inspection and record drawing services for the project.
2. The Contractor must obtain all sewer hookup permits from the City's Building Permits Section (sewer lines) prior to commencing any sewer line construction. A copy of the permit must be kept at the construction site.
3. All manholes shall be constructed in accordance with the "Standard Manhole Detail Sheet" shown on the City Standard Drawings.
4. A copy of the approved plans shall be available at the construction site at all times during working hours.
5. All modifications to the sanitary sewer plans must be reviewed and approved by the City's Wastewater Management Division prior to construction.
6. Additional general notes are contained in the standard City detail sheets for sanitary sewer construction.
7. All public gravity sewer lines shall be a minimum 8 inch diameter with a minimum Class C bedding (2006 New Mexico American Public Works Association).
8. All 4 inch and 6 inch diameter gravity sewer pipe shall be private. No private sewer system shall use larger than a 6 inch diameter pipe. No public gravity sewer line to be accepted by the City of Santa Fe for permanent maintenance shall be less than 8 inches diameter.
9. No concrete encasement of new or existing public sewer pipe will be allowed unless approved by the City of Santa Fe Wastewater Management Division.
10. Core drilling is required for all new connections to an existing manhole.
11. No public sewer main line or manhole will be allowed under or within a storm water detention/retention pond.
12. Prior to paving over any sanitary sewer lines, submit T.V. tapes and logs, pressure tests, and the engineer's certification to the City's Wastewater Management Division. After the Wastewater Management Division reviews the above listed information, a preliminary manhole inspection will be conducted. When all the items listed above are completed to meet the standards of the Wastewater Management Division, a letter approving paving will be issued in relation to the sanitary sewer. Note: A final manhole inspection will be conducted after the final paving is completed.
13. All sewer manholes with sewer lines 12 inches in diameter and larger are required to have approved vented and locking manhole covers.
14. Locate wires shall be installed for all sanitary sewers (gravity/force mains). The locate wire must be visible in the manhole or access structure. This will be verified during the preliminary manhole inspection prior to paving. The locate wire is to be a continuous, 12 gauge, solid strand insulated copper wire.
15. Off-road public sewer access will be provided for all public sewer lines and manholes. Access roads are to be a minimum 12 feet wide with a driving surface of 6 inches of compacted base course. No access road shall have a grade greater than 15%. Manholes are to be aligned with the center line of the access road. Sewer easements are to be a minimum of 20 feet in width.
16. Off road sanitary sewer - Call the Wastewater Management Division at 955-4631 for a field review of the grading of all off road sanitary sewer to ensure that the City's maintenance vehicles can access all manholes. The grades may be required to be adjusted based upon this inspection. Additional bank protection may be required based upon a final inspection by the Wastewater Management Division and the project engineer.
17. For Record Drawings, tie manhole to a City of Santa Fe survey monument as part of the final record drawings. Show corrected as-built bearing and distances, slopes, rim and invert elevations and sewer services along the horizontal alignment of the sanitary sewer.
18. The Owner/Developer will be responsible for maintaining, repairing and locating the sewer system until City acceptance for maintenance. Damages resulting from a stoppage in any gravity and/or pressure sewer system will be the sole responsibility of the Owner/Developer until a final acceptance letter for permanent maintenance has been issued by the Wastewater Management Division.
19. Water meters will not be placed until a final acceptance letter has been issued by the Wastewater Division for all on-site sanitary sewer needed in order for the project to connect to the sanitary sewer system.
20. 20 foot wide access gates shall be provided at all fences, walls or other obstructions that cross a public sewer line. Access gates to be located within the sanitary sewer Easement.
21. The Owner/Developer will be responsible for locating each sewer service at the time each lot is ready to connect to the sewer. It is suggested that the Owner/ Developer retain a copy of the television inspection video along with the video logs. Each service shall be clearly marked for each lot at point of connection. All calls received by this Division regarding the location of service will be forwarded to the Owner/Developer.
22. The Contractor shall call the Wastewater Management Division (Douglas Flores at telephone # 955-4613) for a final manhole inspection. This inspection will be isolated to the manholes. The City's Plumbing and Mechanical Inspectors will conduct all other necessary plumbing inspections. Note: The City's Plumbing and Mechanical Inspectors will inspect the individual sewer service taps and laterals, which connect to the public sanitary sewer.
23. The existing sanitary sewer line must be T.V. taped prior to a new service connection being placed as well as taped after the services have been completed. This is to ensure that the existing sanitary sewer line is not damaged and the new service is installed correctly.
24. All costs associated with the operation, maintenance and replacement of grinder pumps for individual lots shall be the responsibility of the lot owner and/or Owners Association. For grinder pumps that connect to a pressure sewer main, the grinder pump will be a model manufactured by Environment-One or a type approved by the City of Santa Fe Wastewater Management Division. For grinder pumps that connect to a gravity main, the grinder pump shall be of a type approved by the City of Santa Fe Plumbing Code.
25. A minimum 12 inches of vertical clearance shall be provided between the sewer line and any storm drain piping.
26. All pressure sewer systems shall be air or hydrostatically pressure tested @ 120 psi for 2 hours minimum. The test is to be witnessed and certified by the project engineer. Prior to being put into service and acceptance by the City of Santa Fe, all pressure sewer system main lines will be filled with water.
27. No public pressure sewer system piping may be installed in a common trench with other utilities.
28. Sewer backflow check valves will be required for all sewer service lateral connections to sewer mains 12 inches or greater in diameter. The sewer service connection must be made at an existing or new manhole. Sewer service connections to sewer mains with pipe size diameter of 12 inches and greater will not be made without approval from the Wastewater Management Division.
29. Sewer backwater check valves shall be required on private sewer service laterals per the City of Santa Fe Plumbing Code.
30. Any 8 inch public sanitary sewer main line placed with a grade of less than 0.60% shall be removed and reconstructed at the Contractor's expense. All public sanitary sewer main lines with slopes of less than 1% require a minimum Class C bedding with select granular material foundation.
31. All as-built sewer line and manhole data shall be obtained and certified by a licensed surveyor or engineer. As-built data supplied by other than a licensed surveyor or engineer shall not be valid for final as-builts.
32. All existing and new public manholes within a project shall have access for City sewer maintenance equipment. All access is subject to field verification and modification as required by the Wastewater Division prior to final project close out with the City of Santa Fe.
33. All sewer line crossings of rivers, streams, arroyos, drainage channels, etc. shall require a basis of design analysis prepared by a licensed engineer.
34. An approved backflow valve and isolation valve are required on all low pressure sewer service lines as per the City of Santa Fe Standard Sewer Specifications.
35. Terminal flushing connections and in-line flushing connections are required on all low pressure sewer systems. The maximum spacing between in-line flushing connections shall be 500 feet. Distances greater the 500 feet between low pressure sewer in-line flushing connections shall be approved by the Wastewater Division.
36. Sewer backflow check valves are required on private sewer service laterals per the City's Plumbing Code. Final determination shall be made by the City of Santa Fe Plumbing Inspection Division.

WASTEWATER NOTES:
WASTEWATER UEC CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION.

SANITARY SEWER NOTE:
NO FENCES, WALLS, OR OTHER STRUCTURES SHALL BE CONSTRUCTED WITHIN OR ACROSS SANITARY SEWER EASEMENTS

STREET LIGHTING NOTE:
PROPOSED LUMINAIRES SHALL BE METERED AND INCLUDE LED TYPE FIXTURES EQUIVALENT TO CONVENTIONAL 200 HIGH PRESSURE SODIUM. THE DESIGN AND FIXTURE TYPES SHALL BE REVIEWED AND APPROVED BY THE CITY OF SANTA FE TRAFFIC ENGINEERING DIVISION.

GENERAL NOTES:
GAS SERVICES AND METERS TO BE DESIGNED BY SANGRE DE CRISTO WATER COMPANY.

WATER SERVICES TO BE DESIGNED BY SANGRE DE CRISTO WATER COMPANY.

ELECTRIC TRANSFORMERS AND SERVICES TO BE DESIGNED BY PUBLIC SERVICE COMPANY OF NEW MEXICO.

CABLE TELEVISION SERVICE TO BE DESIGNED BY COMCAST.

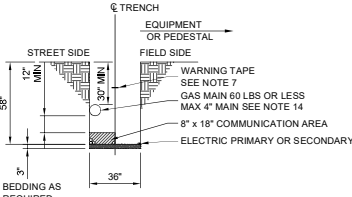
CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES.

JOINT TRENCH NOTES:

1. Compaction in city or state right-of-ways shall meet or exceed minimum specified requirements.
2. Shading and bedding materials to be type IV, Class 1 for direct buried cable and Type IV, Class 2 for cable in conduit. Type III material is suitable for either type of installation. Refer to DS-10-12.4 for fill material requirements.
3. If trench-run material meets back fill material type requirements, 3" bedding may be omitted provided the trench bottom is smooth, flat and without surface irregularities.
4. Maximum change in the trench bottom elevation shall not exceed 2" over a 10' length.
5. Spoil pile shall be placed on the field side a minimum of 2' from the trench edge.
6. Latest OSHA trench safety requirements shall be strictly observed.
7. Warning tape shall be placed a minimum of 12" above gas line.
8. When bringing cables to pedestals, 12" separation must be maintained from the gas line.
9. PNM owned or maintained street lights may be installed in trench, next to electric cable.
10. Private area lighting or private streetlight circuits must maintain 12" separation from all other joint occupants.
11. Gas service must be 12" away from where it will pass equipment or pedestals.
12. All parties agree that 12" separation between electric and communication may not be met when transitioning up to transformers and or pedestals.
13. Typical subdivision where property line is 9' from back of curb and 10' Public Utility Easements (PUE).
14. Depth of gas measured from final grade.

REFERENCES

1. NESC rule 352, 353, 354



TYPICAL JOINT TRENCH DETAIL

CITY REVIEW		
DEPARTMENT	SIGNOFF	DATE
WASTEWATER MANAGEMENT DIV.	SIGNATURE OR FILE	
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE SUBDIVISION		
ENGINEERS		

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 Santa Fe, N. M. 87505
 (505) 962-2945 Fax (505) 962-2641
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REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CAÑALES
 SANTA FE, NEW MEXICO

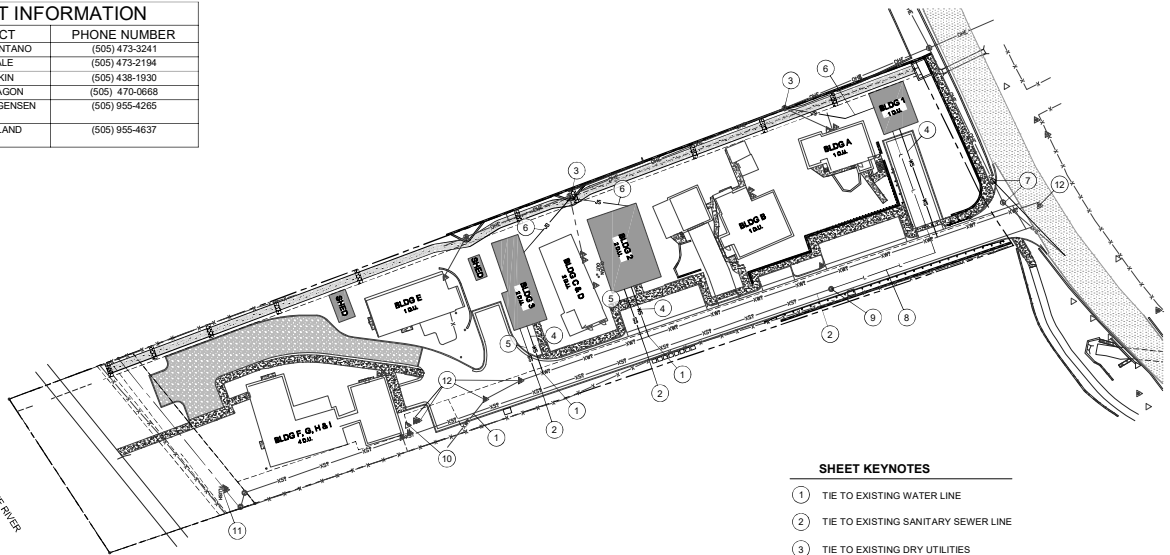
UTILITY NOTES AND DETAILS

DATE: SEPT 15, 2021	SCALE: 1" = 30'	SHEET: 7-1
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REVISIONS	DATE	DESCRIPTION

CASE #

UTILITY CONTACT INFORMATION		
COMPANY	CONTACT	PHONE NUMBER
PNM	AMANDA MONTANO	(505) 473-3241
CENTURY LINK	DOUG DALE	(505) 473-2194
COMCAST	DAVID AIKIN	(505) 438-1930
NM GAS COMPANY	FRANK ARAGON	(505) 470-0668
SANGRE DE CRISTO WATER COMPANY	ROBERT JORGENSEN	(505) 955-4265
CITY OF SANTA FE WASTE WATER DIVISION	STAN HOLLAND	(505) 955-4637



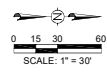
SHEET KEYNOTES

- 1 TIE TO EXISTING WATER LINE
- 2 TIE TO EXISTING SANITARY SEWER LINE
- 3 TIE TO EXISTING DRY UTILITIES
- 4 PROPOSED WATER SERVICE
- 5 PROPOSED SEWER SERVICE
- 6 PROPOSED JOINT UTILITY SERVICE (GAS & ELECTRIC)
- 7 RELOCATE EXISTING POWER POLE BEHIND PROPOSED CURB
- 8 PROPOSED LOW PRESSURE SEWER SERVICE (E-ONE GRINDER)
- 9 TIE TO EXISTING MANHOLE TO BE ADJUSTED TO FINISHED GROUND. CORE DRILL AND EPOXY COAT
- 10 EXISTING FIRE HYDRANT CONTRACTOR TO PROTECT
- 11 EXISTING FLUSH HYDRANT CONTRACTOR TO PROTECT
- 12 EXISTING WATER VALVE TO BE ADJUSTED TO FINISHED GROUND

LEGEND

- EASEMENTS
- EXISTING UTILITIES
- EXISTING SANITARY SEWER LINE (ASSUMED)
- EXISTING WATER LINE (ASSUMED)
- △ EXISTING FIRE HYDRANT
- △ EXISTING WATER METER/VALVE
- △ EXISTING GAS METER
- △ EXISTING ELECTRIC METER
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- PROPOSED UTILITIES
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED JOINT UTILITY SERVICE (ELECTRIC, CABLE, TELE)

MASTER UTILITY PLAN
SCALE: 1" = 30'



NOTE:
CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION

CONTRACTOR SHALL COORDINATE WITH UTILITY FRANCHISES FOR SERVICE AND METER INSTALLATION

GAS SERVICES TO BE RUN TO PROPOSED BUILDINGS AFTER EXISTING LINE IS FIELD LOCATED

METER LOCATIONS TO BE SET AT TIME OF BUILDING PERMIT

CITY REVIEW		
DEPARTMENT	SIGN. OFF.	DATE
WATER/SEWER MANAGEMENT DIV.		
TRAFFIC SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE SUBDIVISION		
ENGINEERS		

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REZONING AND DEVELOPMENT PLAN
SUBMITTAL FOR
LOS CANALES
SANTA FE, NEW MEXICO

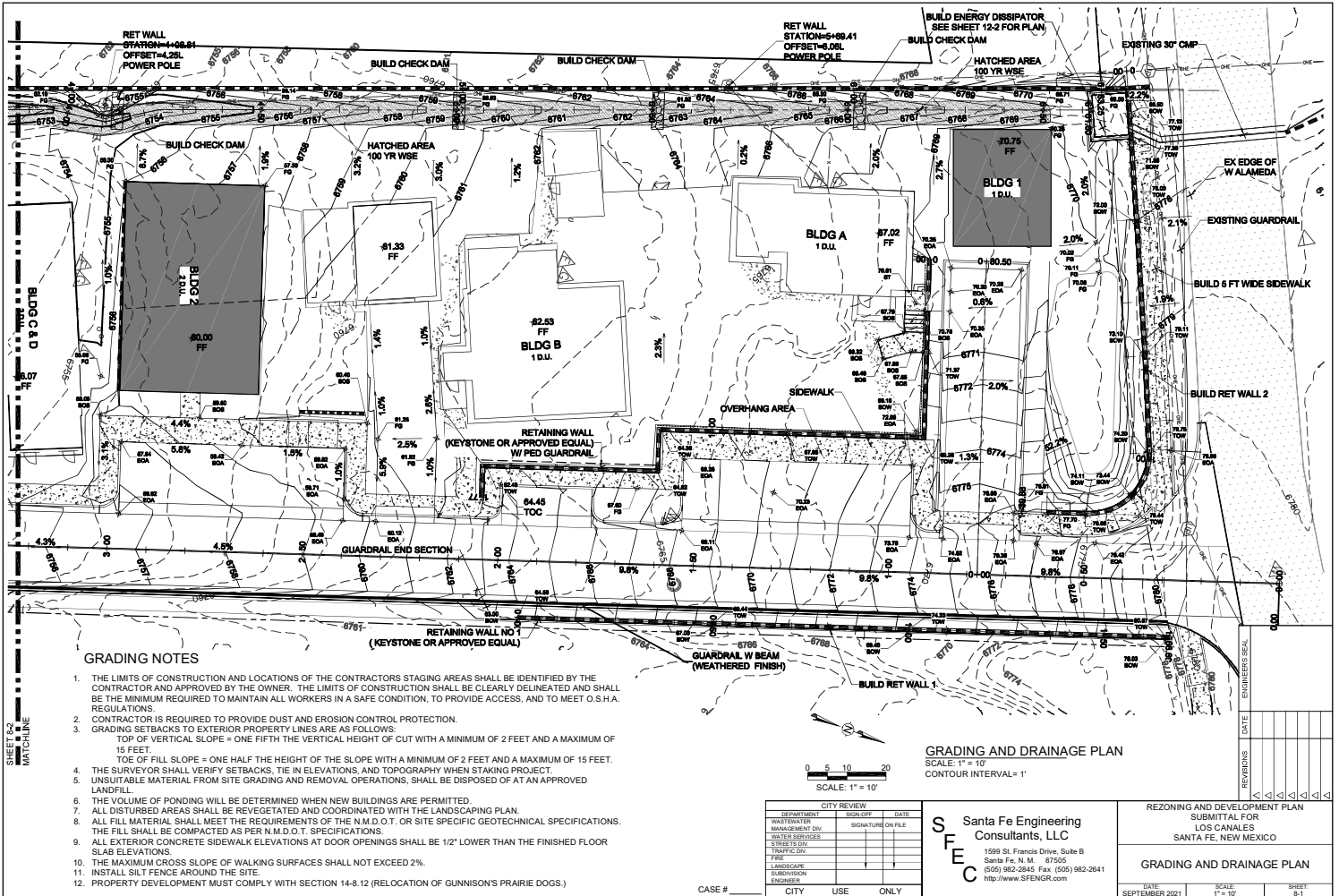
MASTER UTILITY PLAN

CASE # _____

CITY USE ONLY

DATE: SEPTEMBER 2021 SCALE: 1" = 30' SHEET: 7-2

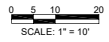
REVISIONS	DATE	ENGINEER'S SEAL



GRADING NOTES

1. THE LIMITS OF CONSTRUCTION AND LOCATIONS OF THE CONTRACTORS STAGING AREAS SHALL BE IDENTIFIED BY THE CONTRACTOR AND APPROVED BY THE OWNER. THE LIMITS OF CONSTRUCTION SHALL BE CLEARLY DELINEATED AND SHALL BE THE MINIMUM REQUIRED TO MAINTAIN ALL WORKERS IN A SAFE CONDITION, TO PROVIDE ACCESS, AND TO MEET O.S.H.A. REGULATIONS.
2. CONTRACTOR IS REQUIRED TO PROVIDE DUST AND EROSION CONTROL PROTECTION.
3. GRADING SETBACKS TO EXTERIOR PROPERTY LINES ARE AS FOLLOWS:
TOP OF VERTICAL SLOPE = ONE FIFTH THE VERTICAL HEIGHT OF CUT WITH A MINIMUM OF 2 FEET AND A MAXIMUM OF 15 FEET.
TOE OF FILL SLOPE = ONE HALF THE HEIGHT OF THE SLOPE WITH A MINIMUM OF 2 FEET AND A MAXIMUM OF 15 FEET.
4. THE SURVEYOR SHALL VERIFY SETBACKS, TIE IN ELEVATIONS, AND TOPOGRAPHY WHEN STAKING PROJECT.
5. UNSUITABLE MATERIAL FROM SITE GRADING AND REMOVAL OPERATIONS, SHALL BE DISPOSED OF AT AN APPROVED LANDFILL.
6. THE VOLUME OF PONDING WILL BE DETERMINED WHEN NEW BUILDINGS ARE PERMITTED.
7. ALL DISTURBED AREAS SHALL BE REVEGETATED AND COORDINATED WITH THE LANDSCAPING PLAN.
8. ALL FILL MATERIAL SHALL MEET THE REQUIREMENTS OF THE N.M.D.O.T. OR SITE SPECIFIC GEOTECHNICAL SPECIFICATIONS. THE FILL SHALL BE COMPACTED AS PER N.M.D.O.T. SPECIFICATIONS.
9. ALL EXTERIOR CONCRETE SIDEWALK ELEVATIONS AT DOOR OPENINGS SHALL BE 1/2" LOWER THAN THE FINISHED FLOOR SLAB ELEVATIONS.
10. THE MAXIMUM CROSS SLOPE OF WALKING SURFACES SHALL NOT EXCEED 2%.
11. INSTALL SILT FENCE AROUND THE SITE.
12. PROPERTY DEVELOPMENT MUST COMPLY WITH SECTION 14-8.12 (RELOCATION OF GUNNISON'S PRAIRIE DOGS.)

GRADING AND DRAINAGE PLAN
SCALE: 1" = 10'
CONTOUR INTERVAL = 1'



CITY REVIEW		
DEPARTMENT	SIGN. OFF.	DATE
WATERWORKS		
MANAGEMENT DIV.	SIGNATURE	ON FILE
STREET SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
PLANNING		
LANDSCAPE		
SUBDIVISION		
ENGINEER		

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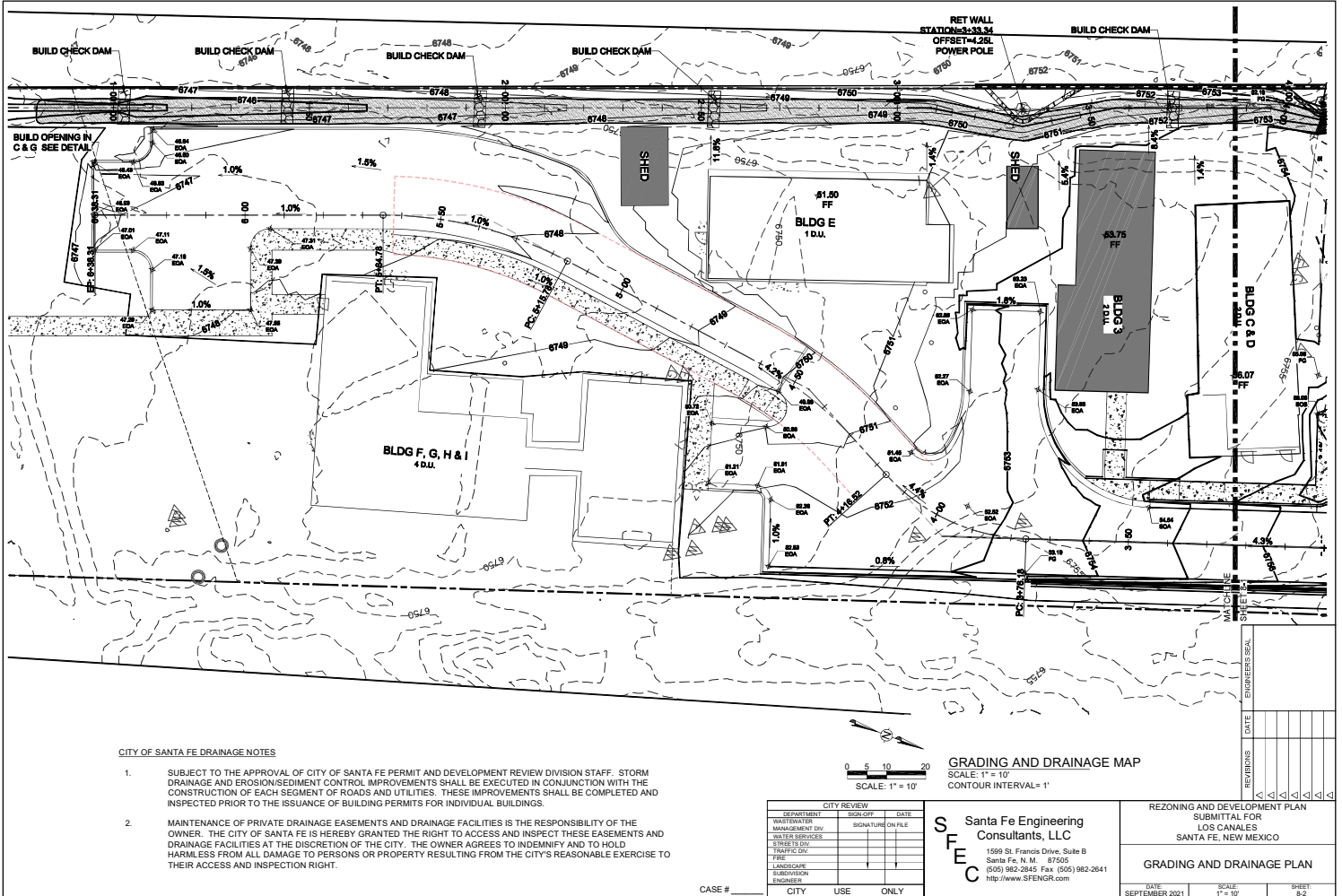
REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
GRADING AND DRAINAGE PLAN		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 10'	8-1

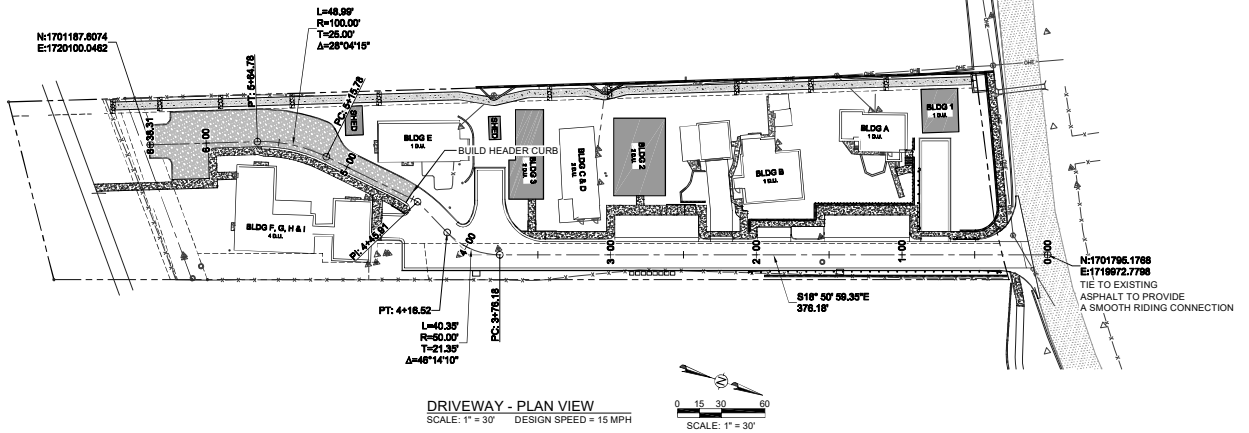
SHEET 8-2
MATCHLINE

REVISIONS	DATE	ENGINEER'S SEAL

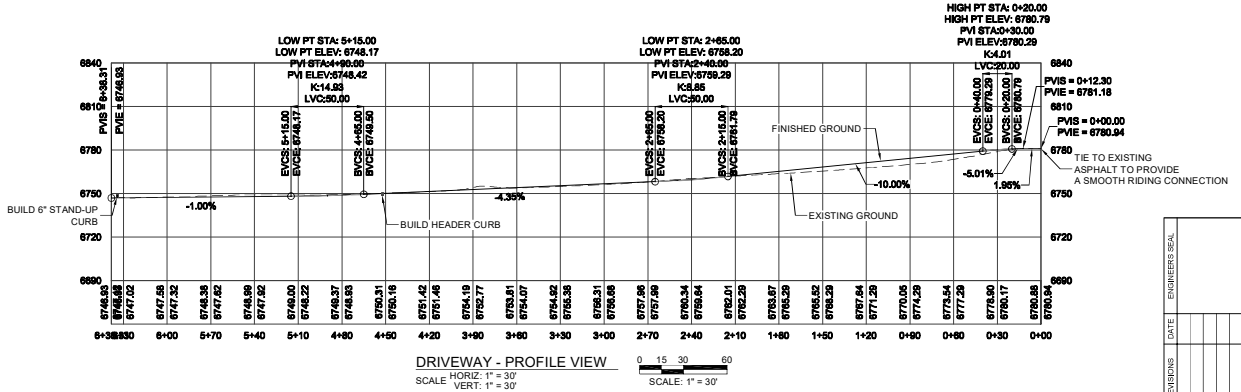
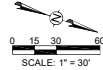
CASE #

CITY	USE	ONLY





DRIVEWAY - PLAN VIEW
SCALE: 1" = 30' DESIGN SPEED = 15 MPH



DRIVEWAY - PROFILE VIEW
SCALE: HORIZ. 1" = 30' VERT. 1" = 30'

CITY REVIEW		DATE
DEPARTMENT	SIGN. OFF.	DATE
WATERWORKS	SIGNATURE	ON FILE
MANAGEMENT DIV.		
TRAFFIC DIV.		
STREETS DIV.		
ENGINEERING		
LANDSCAPE		
SUBDIVISION		
ENGINEER		

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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
DRIVEWAY PLAN AND PROFILE		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 30'	9-1

REVISIONS	DATE	ENGINEER'S SEAL

CASE #

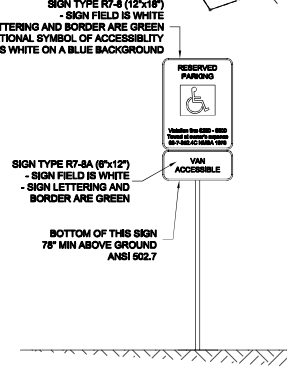
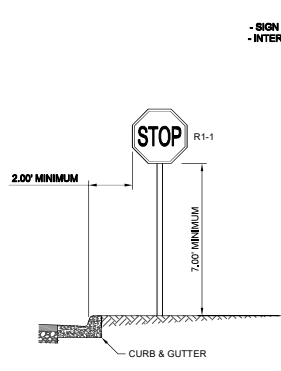
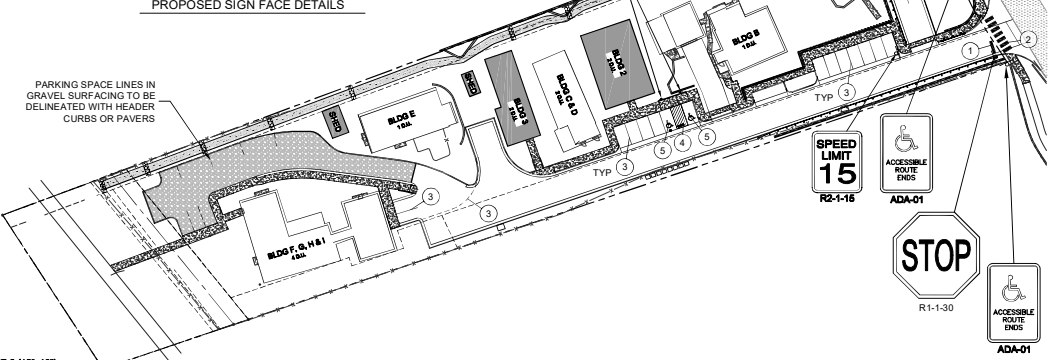
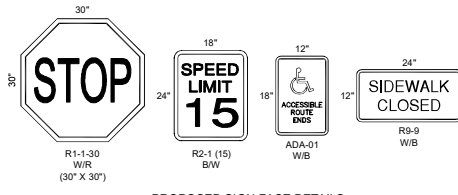
CITY OF SANTA FE SIGNING AND STRIPING NOTES:

SIGN AND POST REQUIREMENTS

1. ALL ALUMINUM PANEL SIGNING AND STEEL POSTS SHALL COMPLY WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT), CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (SSHBC).
2. ALL SIGNING SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) - CURRENT EDITION.
3. SIGNPOSTS WITH APPROVED BREAKAWAY DEVICE SHALL BE "MARION" BRAND 4 LB. / FT. U CHANNEL - BLACK; NO SUBSTITUTES ALLOWED.
4. SIGN SHEETING SHALL BE "3M" BRAND HIGH INTENSITY; NO SUBSTITUTIONS ALLOWED.
5. SIGN HEIGHT SHALL BE A MINIMUM OF 7' HIGH FROM THE BOTTOM OF THE LOWEST SIGN ABOVE THE TOP OF CURB, UNLESS OTHERWISE NOTED, AND SHALL BE PLACED IN ACCORDANCE WITH NMDOT STANDARD DRAWINGS AND SPECIFICATIONS.
6. STREET NAME LETTERING SHALL COMPLY WITH THE STANDARDS IN THE CURRENT EDITION OF THE MUTCD; THAT IS THE LETTERING SHALL BE LOWER CASE LETTERS WITH UPPERCASE INITIAL LETTERS.

STRIPING AND PAINT NOTES

1. ALL RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE SHALL BE 380 IES BY "3M"; NO SUBSTITUTIONS.
2. STOP BARS SHALL BE A MINIMUM 12" WIDE; WHITE RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE; AND SHALL BE 380 IES BY "3M"; NO SUBSTITUTIONS.
3. CROSSWALK STRIPES SHALL BE 12" WIDE; WHITE RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE, ARRANGED IN A CONTINENTAL PATTERN, THAT IS, LONGITUDINAL LINES PARALLEL TO THE FLOW OF TRAFFIC AND ARRANGED TO AVOID WHEEL PATHS. (MUTCD P. 384, SECTION 3B.18); AND SHALL BE 380 IES BY "3M"; NO SUBSTITUTIONS.
4. ALL RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKINGS (WORD OR SYMBOL) SHALL BE 380 IES BY "3M"; NO SUBSTITUTIONS.
5. RETRO-REFLECTORIZED PAINTED PAVEMENT MARKING STRIPES - FOR HIGH-BUILT PAINT, USE TWO COATS AND FOR REGULAR PAINT USE THREE COATS. (DOUBLE APPLICATION TO BE APPLIED WITHIN 14 DAYS.)
6. ALL STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) - CURRENT EDITION, AND THE NMDOT SSHBC.



SIGNING AND STRIPING PLAN
SCALE: 1" = 30'

STRIPING KEY

1	24" WHITE STOP BAR - RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE
2	24" WHITE CROSSWALK - RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE
3	4" WHITE STRIPE (PAINT) DOUBLE APPLICATION AFTER 14 DAYS
4	4" BLUE STRIPE (PAINT) DOUBLE APPLICATION AFTER 14 DAYS
5	PREFORMED MARKING - INTERNATIONAL SYMBOL OF ACCESSIBILITY

CITY REVIEW

DEPARTMENT	SIGN. OFF.	DATE
WATERWORKS MANAGEMENT DIV.		
TRAFFIC SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE SUPERVISOR		
ENGINEER		

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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO

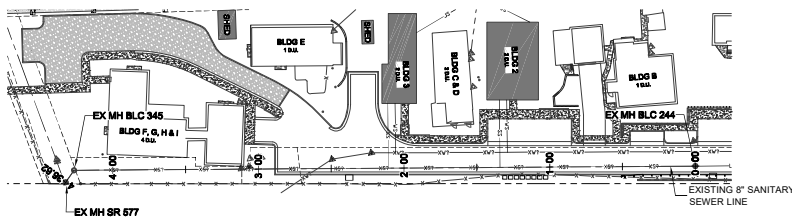
SIGNING AND STRIPING PLAN

DATE: SEPTEMBER 2021	SCALE: 1" = 30'	SHEET: 10-1
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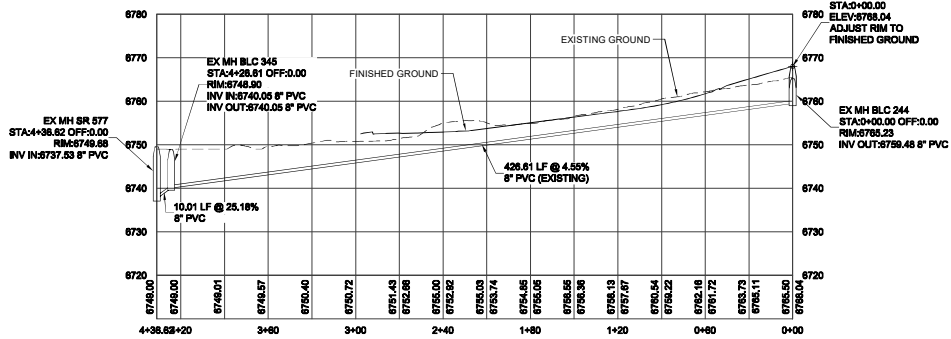
CASE #

CITY	USE	ONLY
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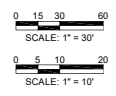
REVISIONS	DATE	ENGINEER'S SEAL



EXISTING SANITARY SEWER LINE - PLAN VIEW
SCALE: 1" = 30'



EXISTING SANITARY SEWER LINE - PROFILE VIEW
SCALE: HORIZ. 1" = 30'
VERT. 1" = 10'



CITY REVIEW		
DEPARTMENT	SIGN. OFF.	DATE
WASTEWATER MANAGEMENT DIV.		
STREETS DIV.		
TRAFFIC DIV.		
LANDSCAPE SUBDIVISION ENGINEER		

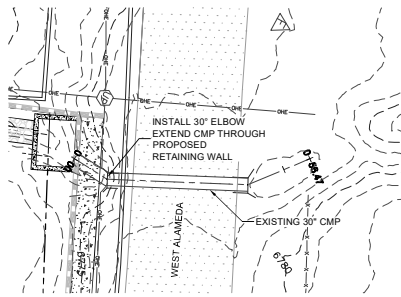
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1599 St. Francis Drive, Suite B
Santa Fe, N. M. 87505
(505) 982-2945 Fax (505) 982-2641
http://www.SFENGR.com

REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
SANITARY SEWER PLAN AND PROFILE		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 30'	11-1

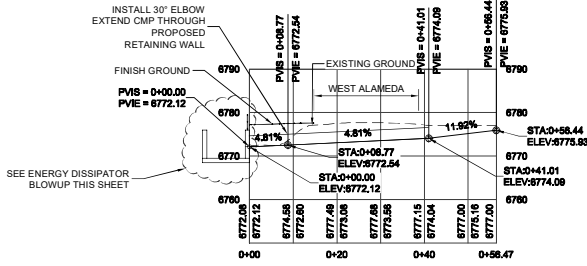
REVISIONS	DATE	ENGINEER'S SEAL

CASE # _____

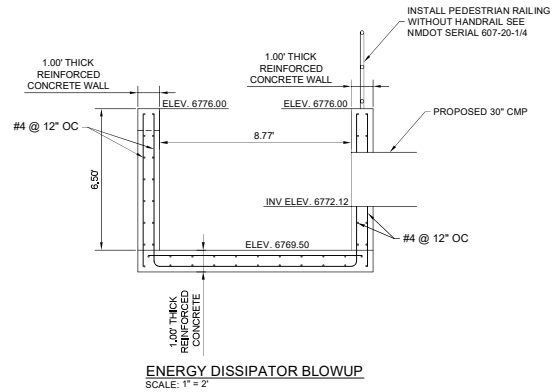
CITY USE ONLY



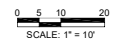
EXISTING 30" CMP - PLAN VIEW
SCALE: 1" = 10'



EXISTING 30" CMP - PROFILE VIEW
SCALE: HORIZ. 1" = 10'
VERT. 1" = 10'



ENERGY DISSIPATOR BLOWUP
SCALE: 1" = 2'



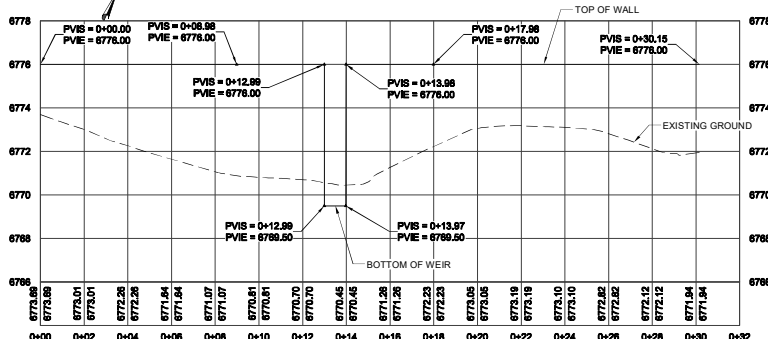
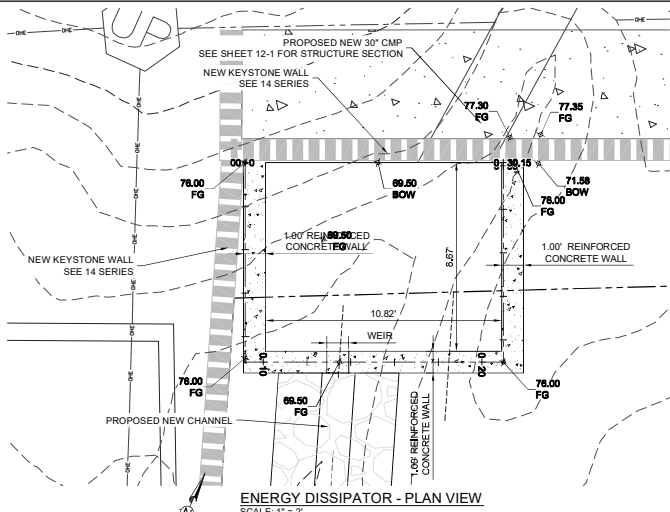
CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN/OFF	DATE
WATERWORKS		
MANAGEMENT DIV.	SIGNATURE	ON FILE
TRAFFIC SERVICES		
ENGINEERING DIV.		
TRAFFIC DIV.		
LANDSCAPE		
SUBDIVISION		
ENGINEER		

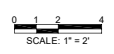
SFE Santa Fe Engineering
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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
STRUCTURE SECTIONS		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 10'	12-1

REVISIONS	DATE	ENGINEER'S SEAL



ENERGY DISSIPATOR - PROFILE VIEW
SCALE: HORIZ. 1" = 2"
VERT. 1" = 2"



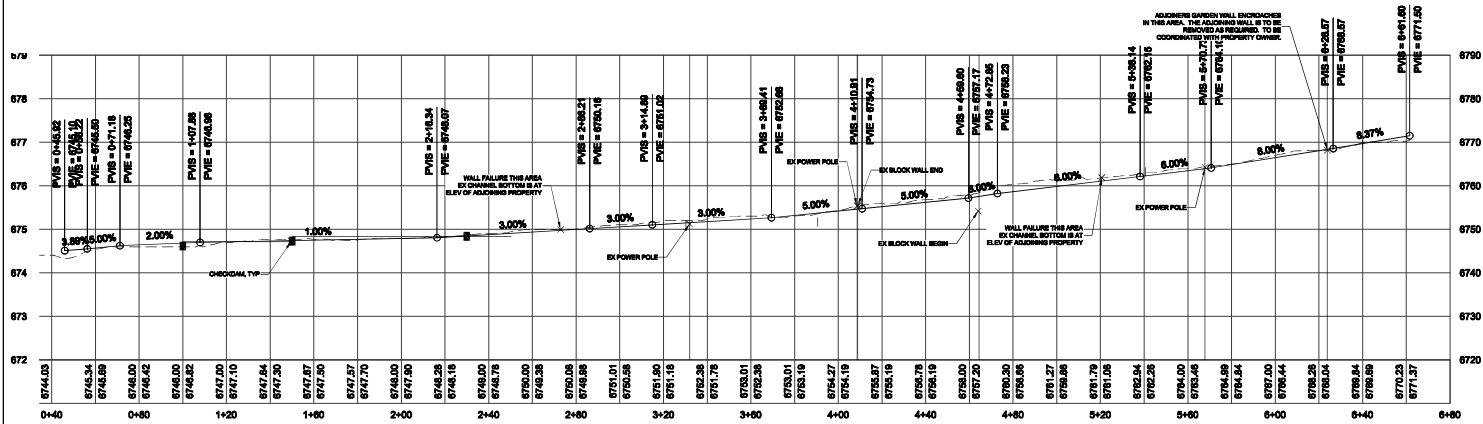
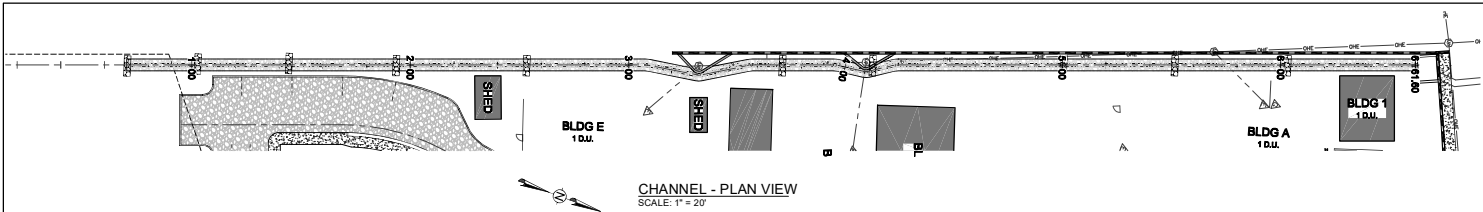
REVISIONS	DATE	ENGINEER'S SEAL

CITY REVIEW		
DEPARTMENT	SIGN/DATE	DATE
WASTEWATER MANAGEMENT DIV.	SIGNATURE	ON FILE
SEALED SERVICES		
ENGINEER'S DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE SUBDIVISION		
ENGINEER		

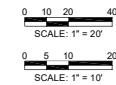
SFE C Santa Fe Engineering Consultants, LLC
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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
ENERGY DISSIPATOR PLAN AND PROFILE		
DATE SEPTEMBER 2021	SCALE 1" = 2"	SHEET 12-2

CASE # _____



CHANNEL - PROFILE VIEW
SCALE: HORIZ: 1" = 20'
VERT: 1" = 10'

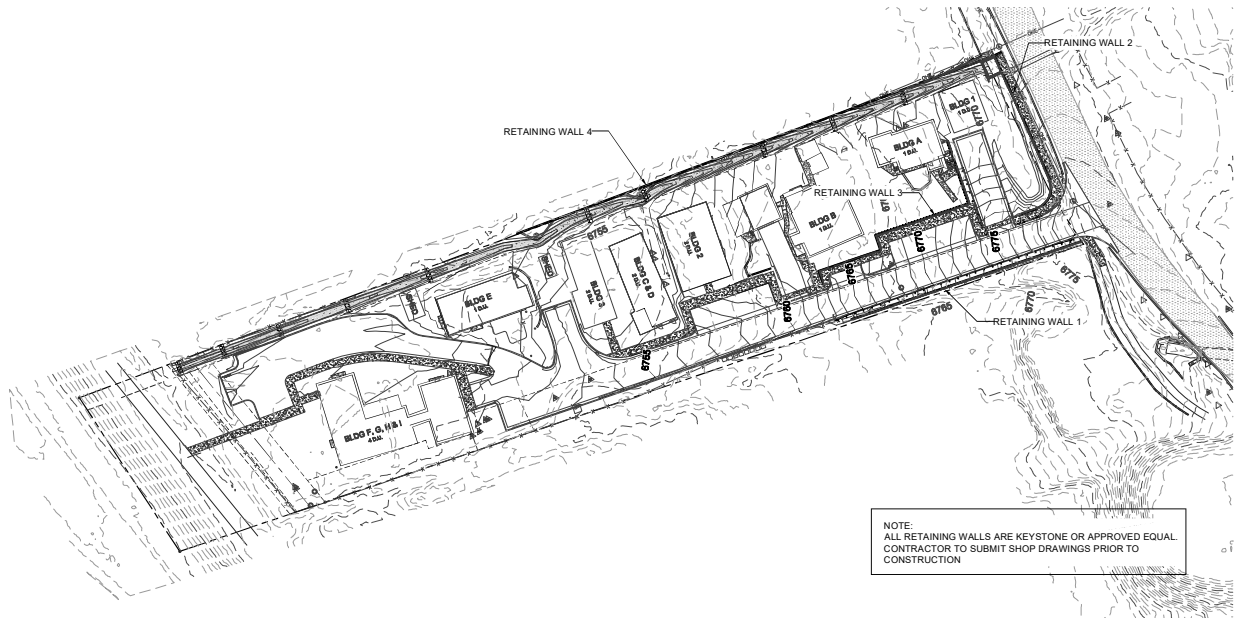


CITY REVIEW		
DEPARTMENT	SIGN/OP	DATE
WASTEWATER MANAGEMENT DIV	SIGNATURE	ON FILE
TRAFFIC SERVICES		
STREETS DIV		
TRAFFIC DIV		
FIRE		
LANDSCAPE		
SUBDIVISION ENGINEER		
CITY	USE	ONLY

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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
CHANNEL PLAN AND PROFILE		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 20'	13-1

REVISIONS	DATE	ENGINEER'S SEAL



NOTE:
ALL RETAINING WALLS ARE KEYSTONE OR APPROVED EQUAL.
CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO
CONSTRUCTION



RETAINING WALL LOCATION PLAN
SCALE: 1" = 30'

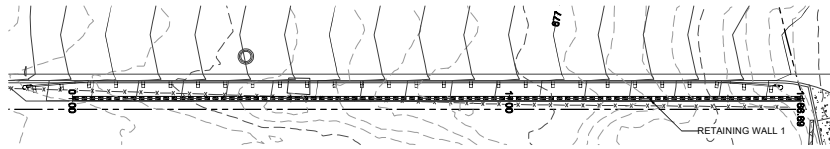
CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WASTEWATER MANAGEMENT DIV.	SIGNATURE	ON FILE
TRAFFIC DIV.		
TRAFFIC DIV.		
TRAFFIC DIV.		
LANDSCAPE SUBDIVISION ENGINEER		
CITY	USE	ONLY

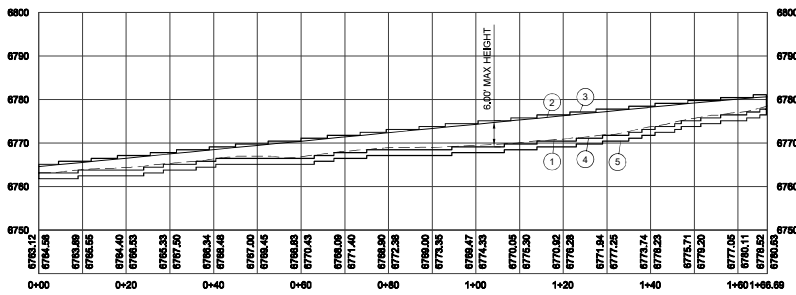
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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
RETAINING WALL LOCATION PLAN		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 30'	14-1

REVISIONS	DATE	ENGINEER'S SEAL

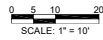


RETAINING WALL 1 - PLAN VIEW
SCALE: 1" = 10'



RETAINING WALL 1 - PROFILE VIEW
SCALE: HORIZ: 1" = 10'
VERT: 1" = 10'

- SHEET KEYNOTES**
- ① EXISTING GROUND
 - ② FINISHED GROUND
 - ③ TOP OF WALL
 - ④ BOTTOM OF WALL (EXPOSED FACE)
 - ⑤ BOTTOM OF WALL (BELOW GROUND)



NOTE:
ALL RETAINING WALLS ARE KEYSTONE OR APPROVED EQUAL.
CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO
CONSTRUCTION

REVISIONS	DATE	ENGINEER'S SEAL

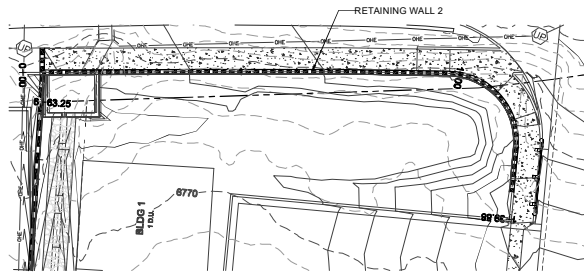
CASE # _____

CITY REVIEW		
DEPARTMENT	SIGNATURE	DATE
WASTEWATER MANAGEMENT DIV.		
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE SUBDIVISION		
ENGINEER		

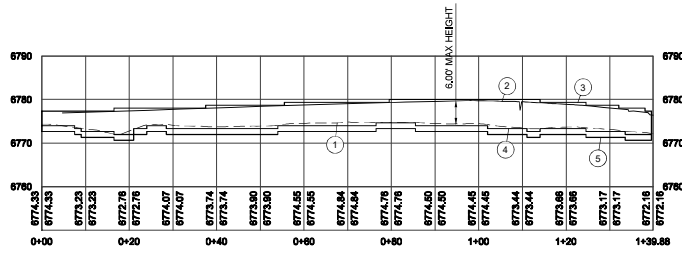
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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
RETAINING WALL PLAN AND PROFILES		
DATE: SEPTEMBER 2021	SCALE: 1" = 10'	SHEET: 14.2

EXHIBIT B



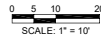
RETAINING WALL 2 - PLAN VIEW
SCALE: 1" = 10'



RETAINING WALL 2 - PROFILE VIEW
SCALE: HORIZ: 1" = 10'
VERT: 1" = 10'

SHEET KEYNOTES

- 1 EXISTING GROUND
- 2 FINISHED GROUND
- 3 TOP OF WALL
- 4 BOTTOM OF WALL (EXPOSED FACE)
- 5 BOTTOM OF WALL (BELOW GROUND)



NOTE:
ALL RETAINING WALLS ARE KEYSTONE OR APPROVED EQUAL.
CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO
CONSTRUCTION

CITY REVIEW		
DEPARTMENT	SIGNATURE	DATE
WASTEWATER		
MANAGEMENT DIV.		
WATER SERVICES		
ENGINEERING		
TRAFFIC DIV.		
PLANNING		
LANDSCAPE		
SUBDIVISION		
ENGINEERS		

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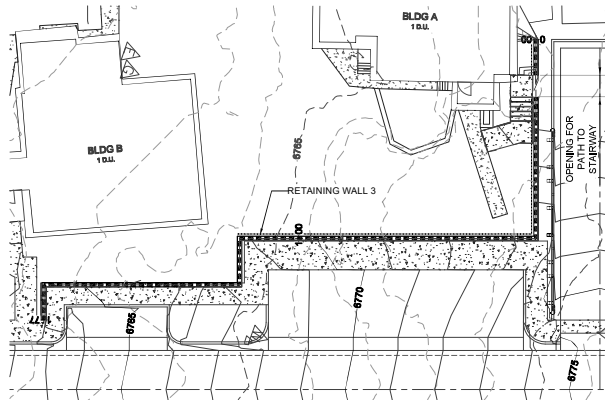
REZONING AND DEVELOPMENT PLAN
SUBMITTAL FOR
LOS CANALES
SANTA FE, NEW MEXICO

RETAINING WALL PLAN AND
PROFILES

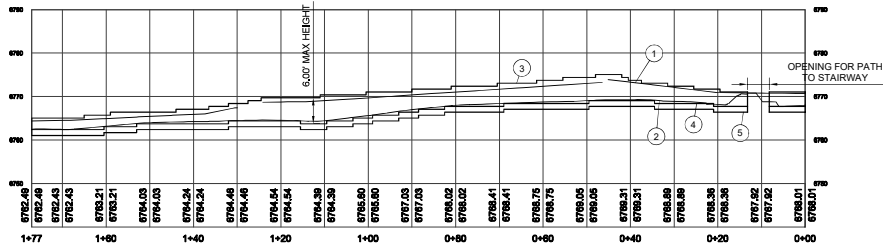
DATE: SEPTEMBER 2021 SCALE: 1" = 10' SHEET: 14-3

REVISIONS	DATE	ENGINEER'S SEAL

CASE # _____ CITY USE ONLY



RETAINING WALL 3 - PLAN VIEW
SCALE: 1" = 10'

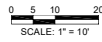


RETAINING WALL 3 - PROFILE VIEW
SCALE: HORIZ: 1" = 10'
VERT: 1" = 10'

SHEET KEYNOTES

- ① FINISHED GROUND AT TOP OF WALL
- ② FINISHED GROUND AT BOTTOM OF WALL
- ③ TOP OF WALL
- ④ BOTTOM OF WALL (EXPOSED FACE)
- ⑤ BOTTOM OF WALL (BELOW GROUND)

NOTE:
ALL RETAINING WALLS ARE KEYSTONE OR APPROVED EQUAL.
CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION



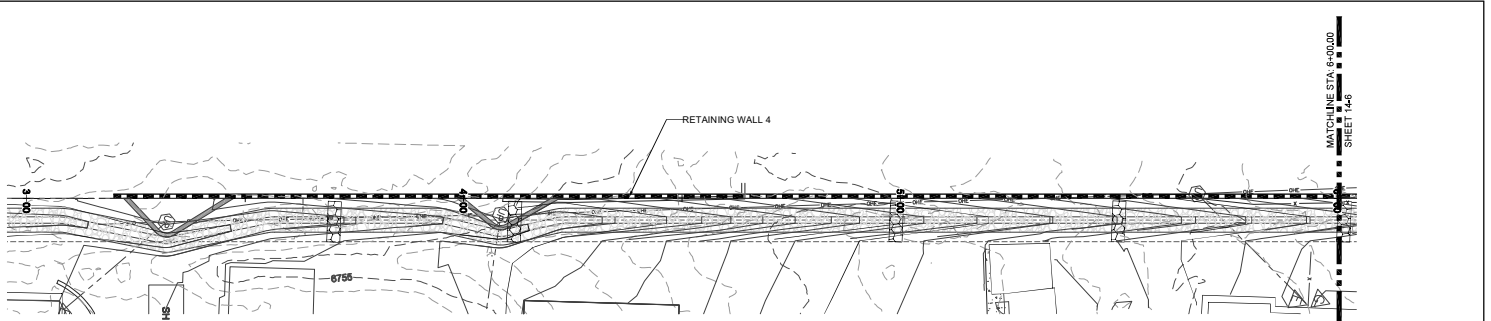
CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN/OP	DATE
WATER MANAGEMENT DIV	SIGNATURE	ON FILE
STREET SERVICES		
STREETS DIV		
TRAFFIC DIV		
FIRE		
LANDSCAPE SUBDIVISION		
ENGINEER		

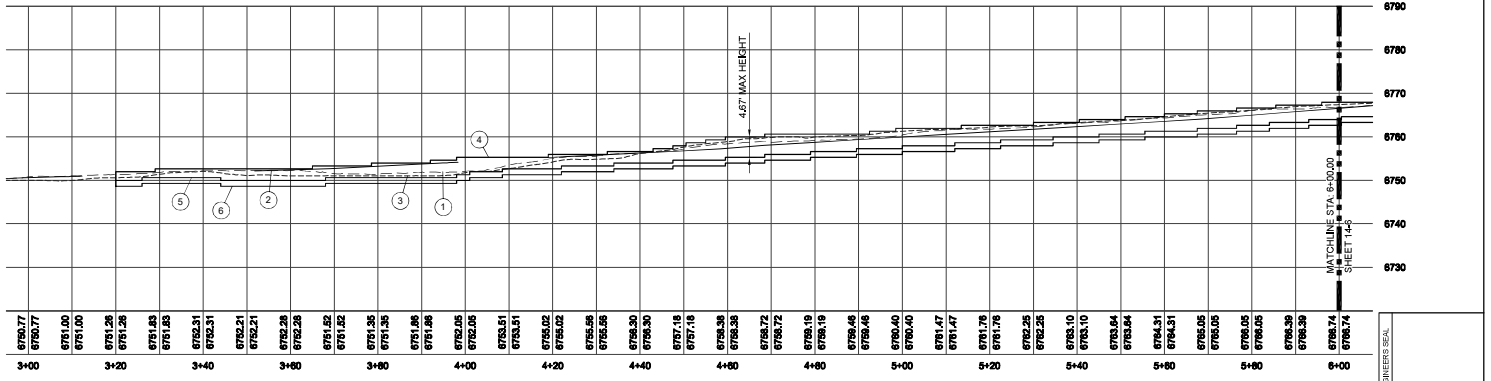
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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
RETAINING WALL PLAN AND PROFILES		
DATE: SEPTEMBER 2021	SCALE: 1" = 10'	SHEET: 14.4

REVISIONS	DATE	ENGINEER'S SEAL

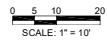


RETAINING WALL 4 - PLAN VIEW
SCALE: 1" = 10'



RETAINING WALL 4 - PROFILE VIEW
SCALE: HORIZ. 1" = 10'
SCALE: VERT. 1" = 10'

NOTE:
ALL RETAINING WALLS ARE KEYSTONE OR APPROVED EQUAL.
CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO
CONSTRUCTION



- SHEET KEYNOTES**
- ① FINISHED GROUND AT EDGE OF WALL
 - ② EXISTING GROUND AT PROPERTY LINE
 - ③ EXISTING GROUND 5' DOWNSTREAM
 - ④ TOP OF WALL
 - ⑤ BOTTOM OF WALL (EXPOSED FACE)
 - ⑥ BOTTOM OF WALL (BELOW GROUND)

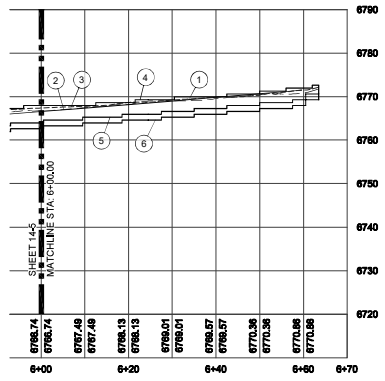
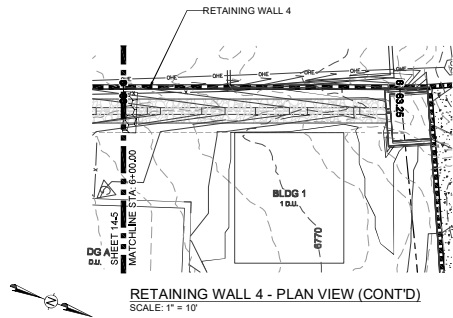
CASE # _____

CITY REVIEW		
DEPARTMENT	SIGNATURE	DATE
WATERWORKS		
MANAGEMENT DIV.		
STREETS DIV.		
TRAFFIC DIV.		
LANDSCAPE		
SUBDIVISION		
ENGINEER		

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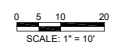
REZONING AND DEVELOPMENT PLAN		
SUBMITTAL FOR		
LOS CANALES		
SANTA FE, NEW MEXICO		
RETAINING WALL PLAN AND		
PROFILES		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 10'	14.5

REVISIONS	DATE	ENGINEER'S SEAL



- SHEET KEYNOTES**
- ① FINISHED GROUND AT EDGE OF WALL
 - ② EXISTING GROUND AT PROPERTY LINE
 - ③ EXISTING GROUND 5' DOWNSTREAM
 - ④ TOP OF WALL
 - ⑤ BOTTOM OF WALL (EXPOSED FACE)
 - ⑥ BOTTOM OF WALL (BELOW GROUND)

NOTE:
ALL RETAINING WALLS ARE KEYSTONE OR APPROVED EQUAL.
CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO
CONSTRUCTION



CITY REVIEW		
DEPARTMENT	SIGN/OP	DATE
WATERWORKS		
MANAGEMENT DIV.	SIGNATURE	ON FILE
STREET SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
PLANNING		
LANDSCAPE		
SUBDIVISION		
ENGINEER		

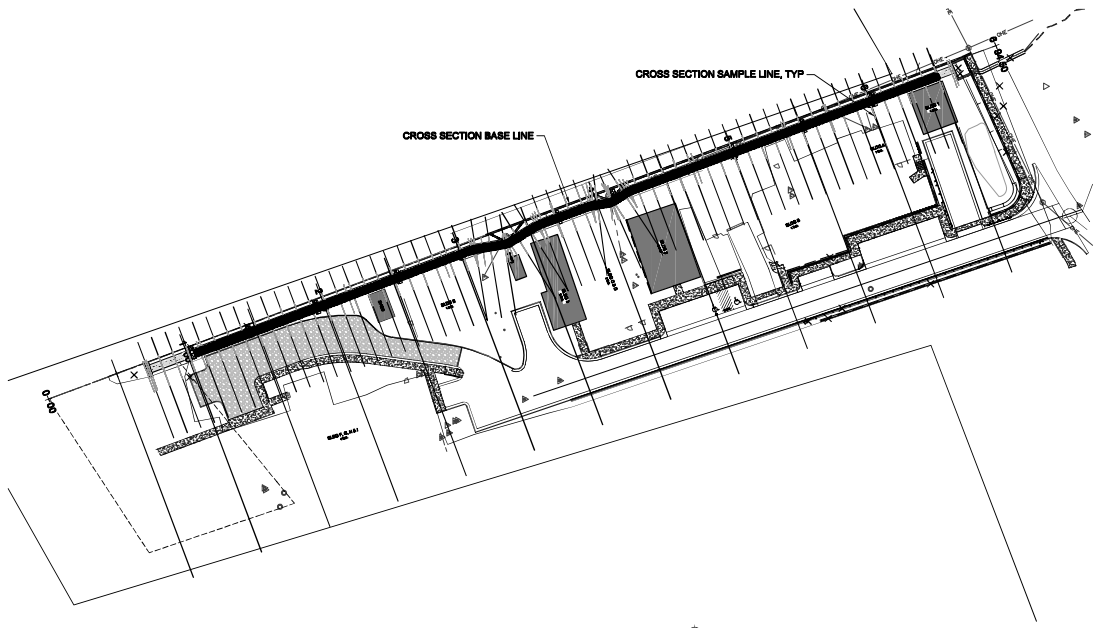
SFE Santa Fe Engineering
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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
RETAINING WALL PLAN AND PROFILES		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 10'	14.6

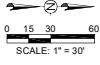
REVISIONS	DATE	ENGINEER'S SEAL

CASE # _____

EXHIBIT B



SITE CROSS SECTION LOCATION PLAN
SCALE: 1" = 30'



REVISIONS	DATE	ENGINEER'S SEAL

CITY REVIEW		
DEPARTMENT	SIGN. OFF	DATE
WASTEWATER MANAGEMENT DIV.	SIGNATURE	ON FILE
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE SUBDIVISION		
ENGINEERS		

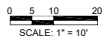
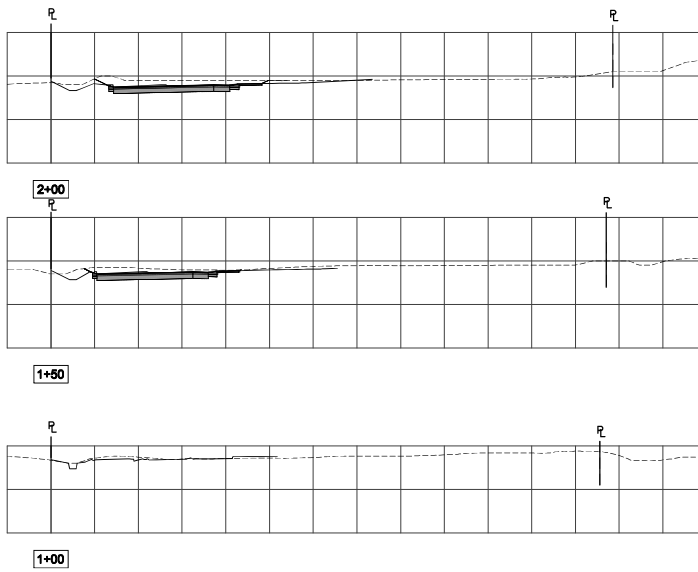
SFE C Santa Fe Engineering Consultants, LLC
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 Santa Fe, N. M. 87505
 (505) 982-2845 Fax (505) 982-2841
<http://www.SFENGR.com>

REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
SITE CROSS SECTION LOCATION PLAN		
DATE SEPTEMBER 2021	SCALE 1" = 30'	SHEET 15-1

CASE # _____ CITY USE ONLY

WEST

EAST



CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN. OFF	DATE
WASTEWATER		
MANAGEMENT DIV.	SIGNATURE	ON FILE
TRAFFIC SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE		
SUBDIVISION		
ENGINEER		
CITY	USE	ONLY

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REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

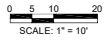
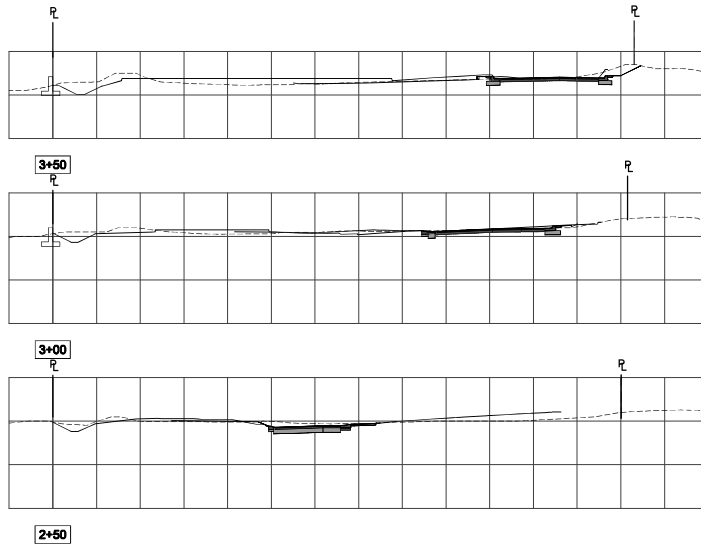
SITE CROSS SECTIONS

DATE SEPTEMBER 2021	SCALE 1" = 10'	SHEET 15-2
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ENGINEER'S SEAL
DATE
REVISIONS
<< < > >>

WEST

EAST



CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN. OFF	DATE
WASTEWATER		
MANAGEMENT DIV.	SIGNATURE	ON FILE
WATER SERVICES		
STREET'S DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE		
SUBDIVISION		
ENGINEER		
CITY	USE	ONLY

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REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

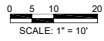
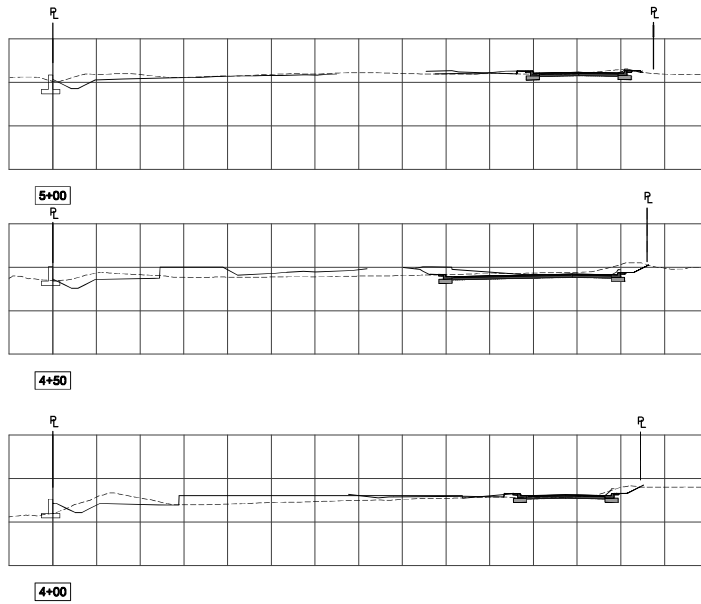
SITE CROSS SECTIONS

DATE SEPTEMBER 2021	SCALE 1" = 10'	SHEET 15-3
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REVISIONS	DATE	ENGINEER'S SEAL

WEST

EAST



CASE # _____

CITY REVIEW		
DEPARTMENT	SIGNATURE	DATE
WASTEWATER		
MANAGEMENT DIV.		
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE		
SUBDIVISION		
ENGINEER		
CITY	USE	ONLY

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<http://www.SFENGR.com>

REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

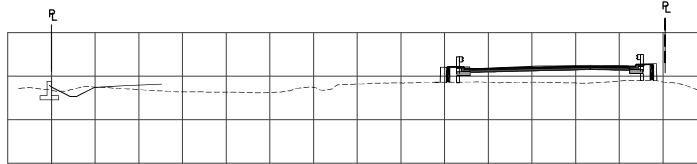
SITE CROSS SECTIONS

DATE: SEPTEMBER 2021	SCALE: 1" = 10'	SHEET: 15-4
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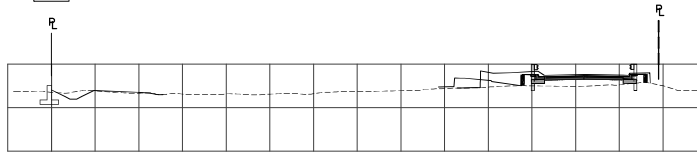
REVISIONS	DATE	ENGINEER'S SEAL

WEST

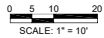
EAST



6+00



5+50



CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN. OFF	DATE
WASTEWATER		
MANAGEMENT DIV.	SIGNATURE	ON FILE
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE		
SUBDIVISION		
ENGINEER		
CITY	USE	ONLY

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REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

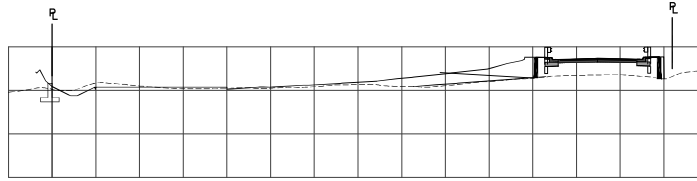
SITE CROSS SECTIONS

DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 10'	15-5

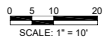
REVISIONS	DATE	ENGINEER'S SEAL

WEST

EAST



6+50



CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN. OFF.	DATE
WASTEWATER		
MANAGEMENT DIV.	SIGNATURE	ON FILE
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE		
SUBDIVISION		
ENGINEER		
CITY	USE	ONLY

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 Consultants, LLC
 1599 St. Francis Drive, Suite B
 Santa Fe, N.M. 87505
 (505) 962-2845 Fax (505) 962-2641
<http://www.SFENGR.com>

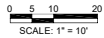
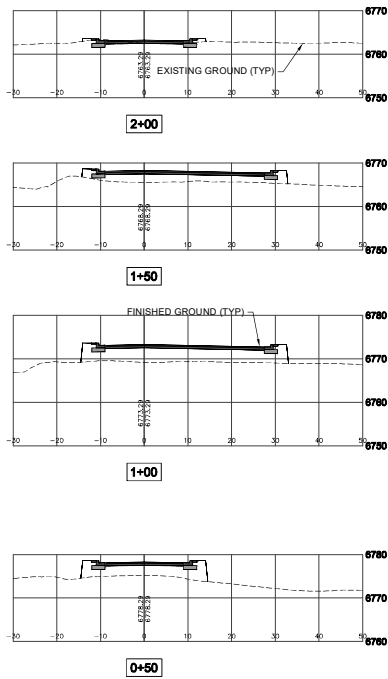
REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

SITE CROSS SECTIONS

DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 10'	15-6

REVISIONS	DATE	ENGINEER'S SEAL

EXHIBIT B



CASE # _____

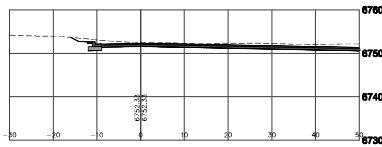
CITY REVIEW		
DEPARTMENT	SIGN OFF	DATE
WASTEWATER MANAGEMENT DIV.	SIGNATURE	ON FILE
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
PLANNING		
LANDSCAPE SUBDIVISION		
ENGINEER		
CITY	USE	ONLY

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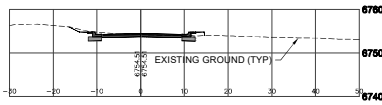
REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
ROADWAY CROSS SECTIONS		
DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 10'	15-7

REVISIONS	DATE	ENGINEER'S SEAL

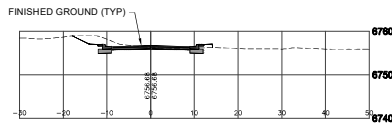
EXHIBIT B



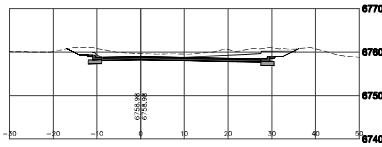
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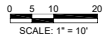
3+50



3+00



2+50



CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN OFF	DATE
WASTEWATER MANAGEMENT DIV.	SIGNATURE	ON FILE
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
FIRE		
LANDSCAPE		
SUBDIVISION ENGINEER		
CITY	USE	ONLY

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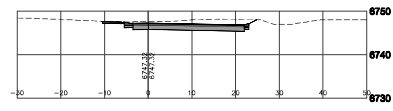
REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

ROADWAY CROSS SECTIONS

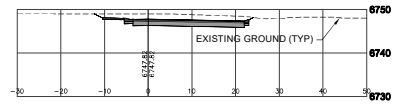
DATE SEPTEMBER 2021	SCALE 1" = 10'	SHEET 15-8
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REVISIONS	DATE	ENGINEER'S SEAL

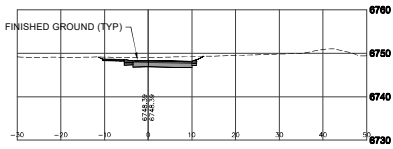
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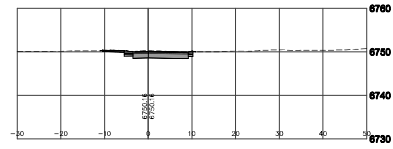
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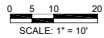
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CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN OFF	DATE
WASTEWATER MANAGEMENT DIV.	SIGNATURE	ON FILE
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
PLANNING		
LANDSCAPE SUBDIVISION		
ENGINEER		
CITY	USE	ONLY

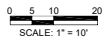
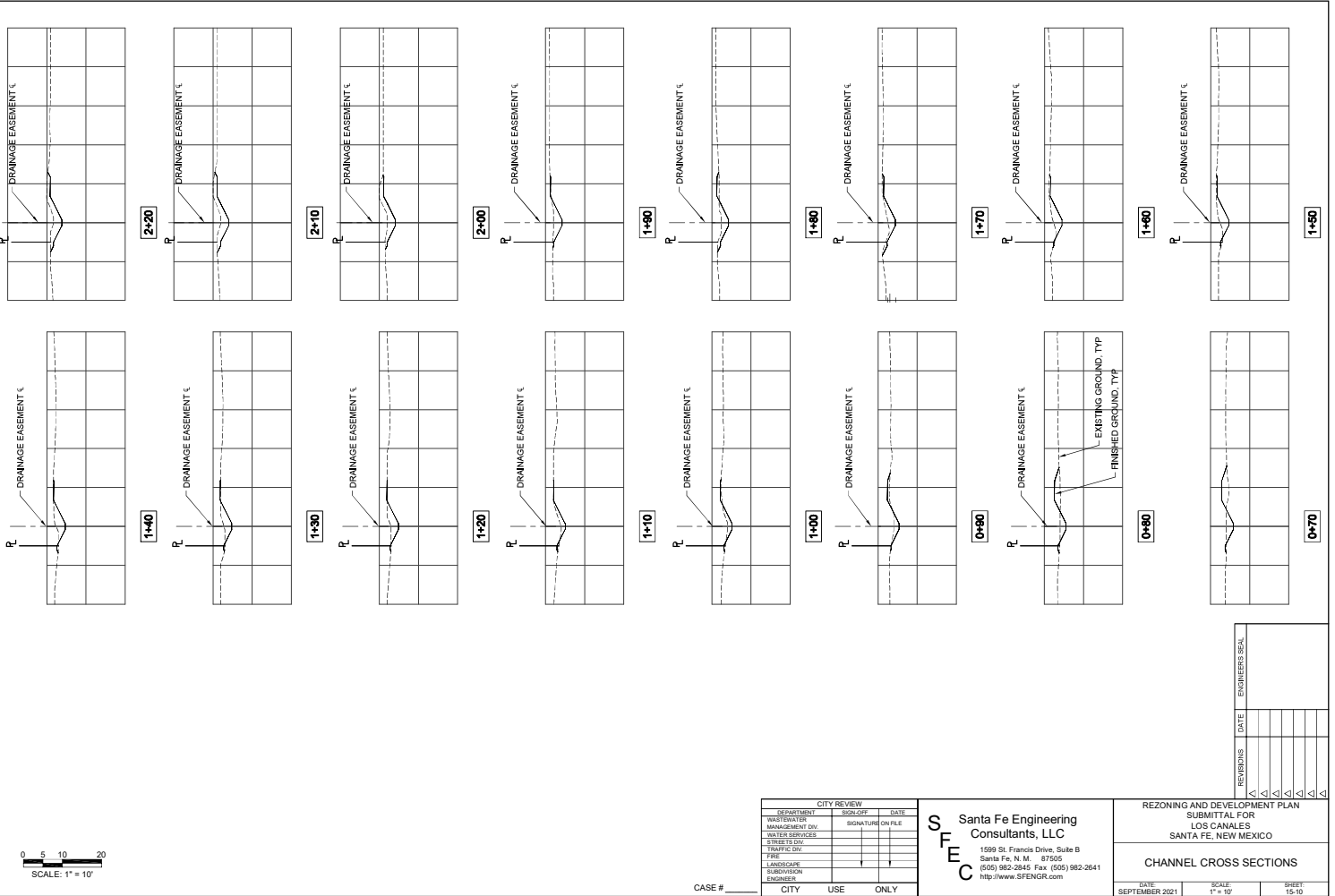
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 (505) 982-2845 Fax (505) 982-2841
<http://www.SFENGR.com>

REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

ROADWAY CROSS SECTIONS

DATE SEPTEMBER 2021	SCALE 1" = 10'	SHEET 15-9
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REVISIONS	DATE	ENGINEER'S SEAL



CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN. OFF.	DATE
WATERWORKS		
MANAGEMENT DIV.	SIGNATURE	ON FILE
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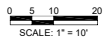
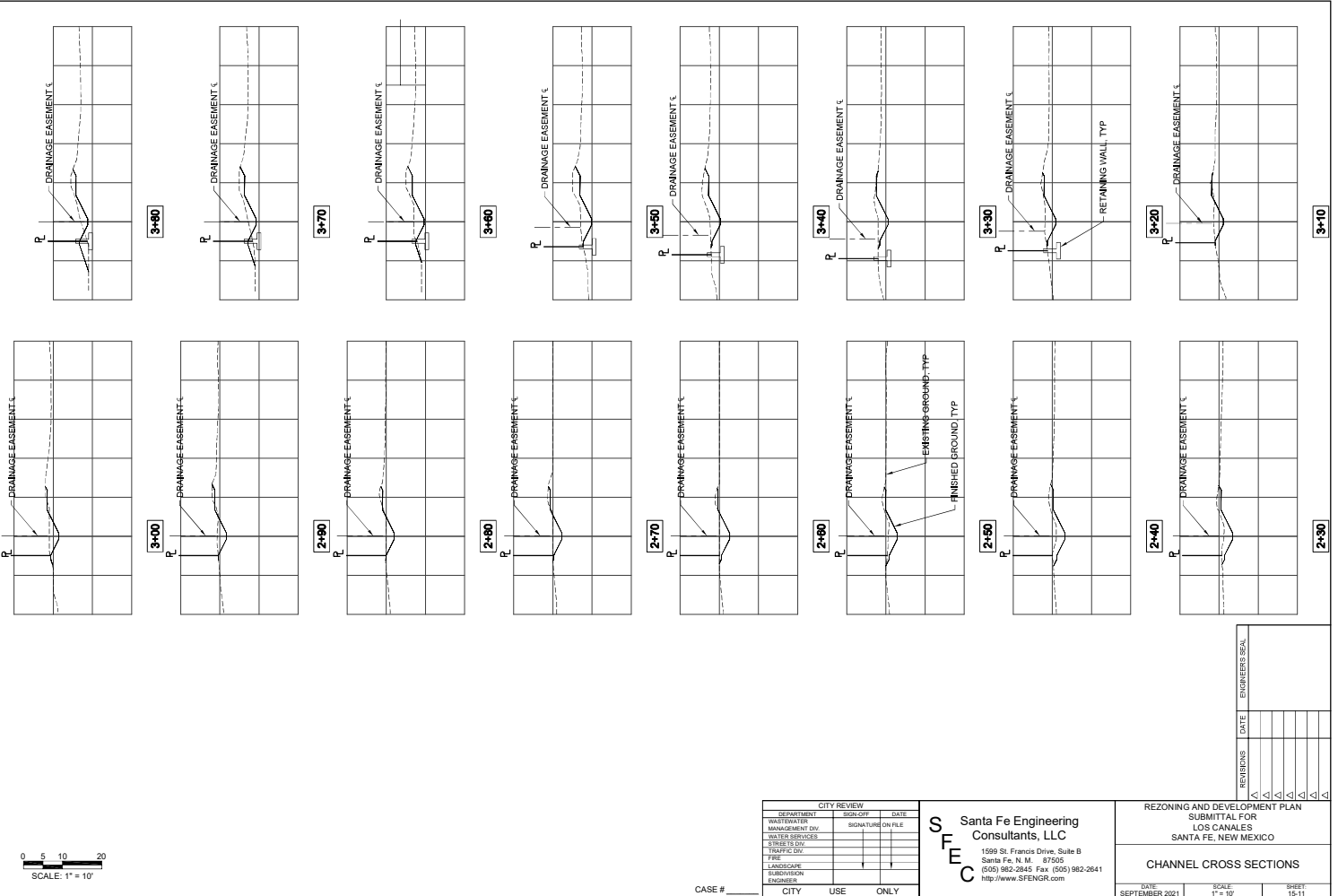
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CONSULTANTS
 1599 St. Francis Drive, Suite B
 Santa Fe, N. M. 87505
 (505) 982-2845 Fax (505) 982-2841
 http://www.SFENGR.com

REVISIONS		DATE	ENGINEER'S SEAL

REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

CHANNEL CROSS SECTIONS

DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 10'	15-10



CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN OFF	DATE
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TRAFFIC DIV.		
FIRE		
LANDSCAPE SUBDIVISION ENGINEER		
CITY USE ONLY		

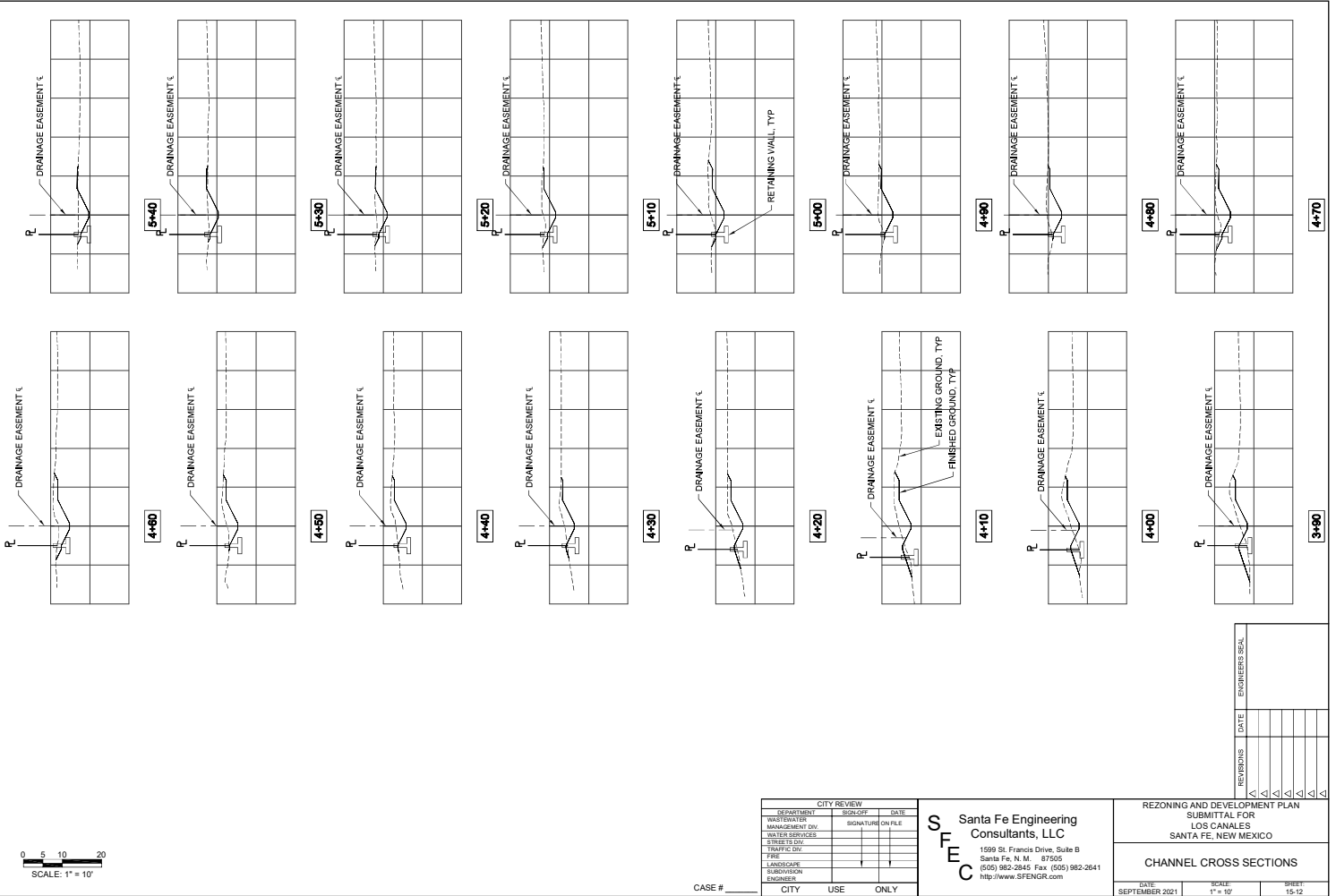
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REVISIONS		DATE	ENGINEER'S SEAL

REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

CHANNEL CROSS SECTIONS

DATE: SEPTEMBER 2021 SCALE: 1" = 10' SHEET: 15-11



0 5 10 20
SCALE: 1" = 10'

CASE # _____

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DEPARTMENT	SIGN-OFF	DATE
WATERWORKS		
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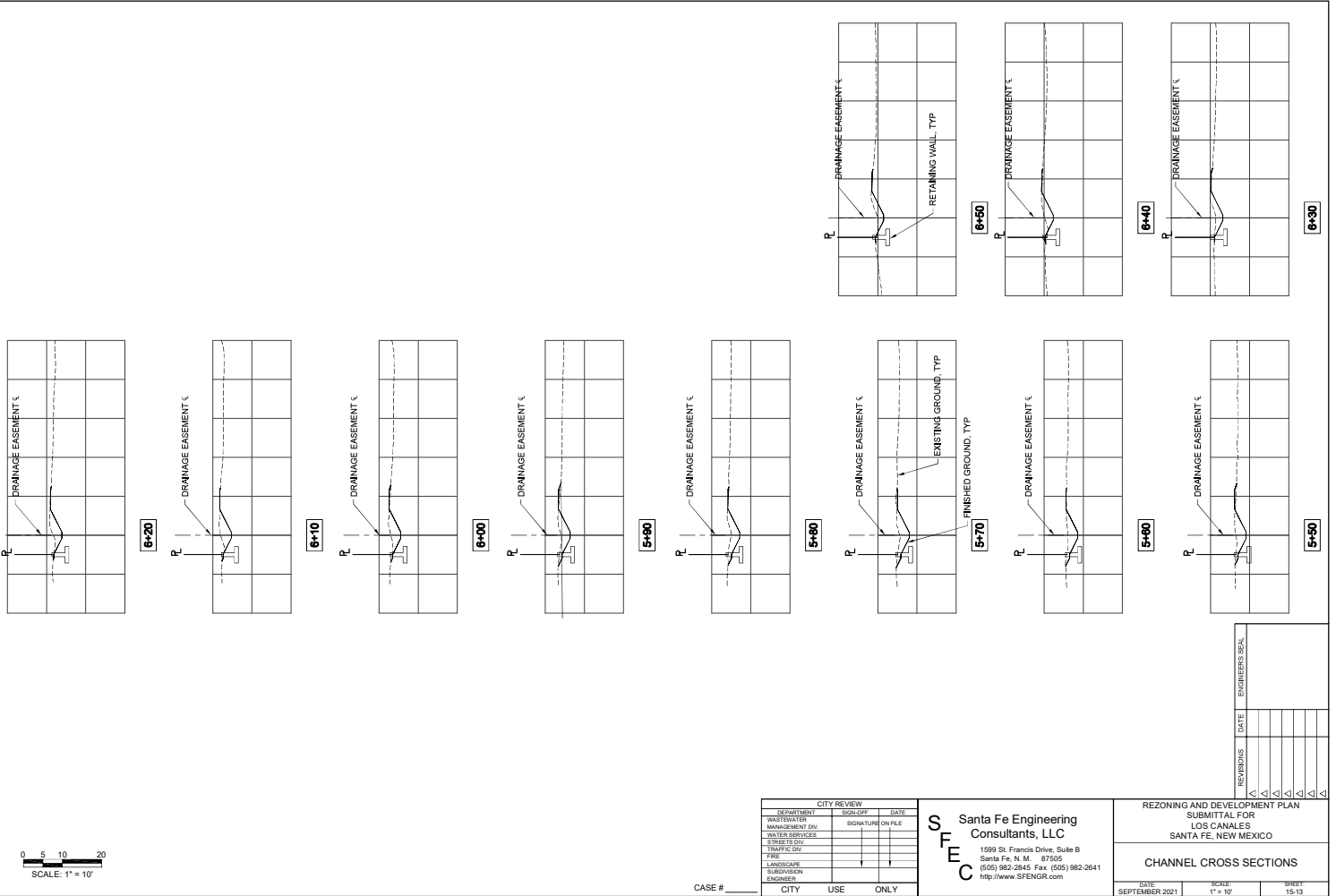
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REVISIONS		
NO.	DATE	ENGINEER'S SEAL

REZONING AND DEVELOPMENT PLAN
SUBMITTAL FOR
LOS CANALES
SANTA FE, NEW MEXICO

CHANNEL CROSS SECTIONS

DATE	SCALE	SHEET
SEPTEMBER 2021	1" = 10'	15-12



0 5 10 20
SCALE: 1" = 10'

CITY REVIEW		
DEPARTMENT	SIGN OFF	DATE
WASTEWATER MANAGEMENT DIV	SIGNATURE	ON FILE
TRAFFIC DIV		
FIRE		
LANDSCAPE SUBDIVISION		
ENGINEER		

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REVISIONS		
NO.	DATE	ENGINEER'S SEAL

REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

CHANNEL CROSS SECTIONS

DATE: SEPTEMBER 2021
 SCALE: 1" = 10'
 SHEET: 15-13

CASE # _____

CITY USE ONLY

STORM WATER POLLUTION PREVENTION PLAN
 2190 WEST ALAMEDA STREET
 SANTA FE, NEW MEXICO

1. SITE AND PROJECT DESCRIPTION

The project site is currently developed with several residential units. The site is bordered by West Alameda Street to the north, The Santa Fe River to the South, a partially developed residential tract to the West, and a fully developed residential subdivision to the East.

1.1 Owner Operator:
 Homeview, Inc.
 1301 Siler Road, Bldg D
 Santa Fe, NM 87507

Construction Operator (Separate NPDES Permit needed):

Telephone: _____

Fax: _____

1.2 Location of the site:

The site is located in Township 17 North, Range 9 East, Section 27, in Santa Fe, New Mexico.

The latitude and longitude are as follows:

Latitude: 35°40'32" N
 Longitude: 105°58'54" W

1.3 The total area of the site:

2.01 ± acres

1.4 The area of the site that is expected to be disturbed:

2.01 ± acres

1.5 Endangered Species:

Based on the instruction provided by the EPA Compliance Assurance and Enforcement Division Water Enforcement Branch, Region 6 (Storm Water Region 6 NPDES General Permit for Storm Water Discharge from Construction Activity," there are no endangered or threaten species, or designated critical habitat, which are likely to be adversely affected by the construction activity's storm water discharge or storm water discharge related activities.

1.6 Intended sequence of major construction activities:

1. Install Best Management Practices (BMP's). The contractor shall minimize soil disturbance and insure the proper stockpiling of materials.

2. Site Grading. The contractors shall use site-specific controls as shown on the Temporary Erosion Control Plans and Grading and Drainage Plans. Soil disturbance shall be minimized.

3. Installation of Utilities including trenching, stockpiling of excavated materials and backfilling. The contractors shall use site-specific controls as shown on the Temporary Erosion Control Plans.

4. Stabilization. The contractors shall use site-specific controls as shown on the Permanent Erosion Control Plans.

1.7 The following maps have been prepared:

1.7.1 Vicinity Map

See sheet 1-1.

1.7.2 Drainage patterns:

Grading and Drainage Plans, 8 series.

1.7.3 Approximate slopes after major grading.

Permanent Erosion Control Plan, 16-3.

1.7.4 Outline area of disturbance:

Permanent Erosion Control Plan, sheet 16-3.

1.7.5 Outline of areas which won't be disturbed:

See SWPPP Plan, this sheet.

1.7.6 Location of major structural and non-structural concepts:

Temporary Erosion Control Plan, sheet 16-2.

1.7.7 Areas where stabilization practices are expected to occur.

Permanent Erosion Control Plan, sheet 16-3.

2. DESCRIPTION OF CONTROLS

2.1 Posting Requirements:

The Contractor will post conspicuously near the entrance to the site the following items:

Copies of NOIs
 Name and telephone number of contact persons.

2.2 "Good Housekeeping":

The contractors shall practice "Good Housekeeping." This includes the proper disposal of construction and demolition debris on a daily basis, proper wash down methods of construction vehicles, the proper stockpiling of materials. The construction site shall be kept in a neat and orderly manner and exposure of material to storm water will be minimized to the extent practicable.

2.3 Concrete Washout

Concrete washout is a process wastewater and must be controlled in a designated area (e.g. bermed pit) and disposed of properly and noted on the Temporary Erosion Control Plans.

2.4 Minimize Disturbance and Preserve Natural Vegetation:

The Contractor shall minimize disturbance. The limits of construction shall be clearly delineated and enforced. Special attention will be given to protecting established vegetation. The contractor will be responsible for replacing vegetation that is unnecessarily disturbed.

2.5 Inspections:

Disturbed areas, stabilization and structural control measures shall be inspected as required and at least once every two weeks, and within 24 hours of the next working day of the end of a storm event. If a portion of the site has been finally or temporarily stabilized, and runoff is unlikely due to winter conditions, or during seasonal arid periods, inspections shall be conducted on a monthly basis.

Inspections shall be documented on the inspection and maintenance form. Inspections shall be continued by the Owner and final stabilization of an area is achieved and/or the Notice of Termination is submitted.

2.6 Record Keeping:

A copy of the SWPPP Plan will be maintained onsite for the use of all Operators and those identified in the SWPPP Plan as having on site responsibilities. Items that will be maintained and attached to the SWPPP include:

Inspection Reports: The inspection reports shall be signed by a qualified inspector assigned by the Contractor. The SWPPP package and reports shall be available to EPA representatives at all times during construction.

Land Disturbance Log containing: dates when major soil disturbing activities occur, dates when construction activities temporarily or permanently cease on a portion of the site, and dates when stabilization measures are initiated.

Spill Tracking

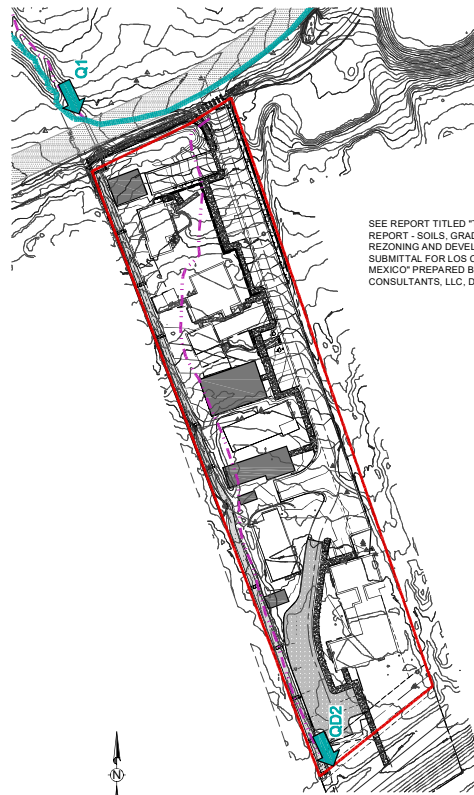
Copies of SWPPP Plans, inspection records, spill reports, all reports required by NPDES Permit coverage, and data used to complete the NOI shall be retained by the permittees.

2.7 Plan Amendment:

This SWPPP Plan will be amended when:

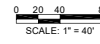
There is a change in design, construction, operation, or maintenance.

If the inspection report identifies problems or inadequacies with the current BMP's, the SWPPP Plan shall be modified as necessary to include additional or modified BMP's designed to correct the problems.



SEE REPORT TITLED "TERRAIN MANAGEMENT REPORT - SOILS, GRADING, AND DRAINAGE FOR REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES, SANTA FE, NEW MEXICO" PREPARED BY SANTA FE ENGINEERING CONSULTANTS, LLC, DATED SEPTEMBER 2021

DEVELOPED CONDITIONS DRAINAGE MAP
 SCALE: 1" = 40', CONTOUR INTERVAL = 1'



CITY REVIEW		
DEPARTMENT	SIGNOFF	DATE
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STREETS DIV		
TRAFFIC DIV		
FIRE		
LANDSCAPE SUBDIVISION		
ENGINEERS		

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REZONING AND DEVELOPMENT PLAN
 SUBMITTAL FOR
 LOS CANALES
 SANTA FE, NEW MEXICO

STORM WATER POLLUTION PREVENTION PLAN

DATE: SEPTEMBER 2021 SCALE: 1" = 200' SHEET: 16-1

REVISIONS	DATE	ENGINEER'S SEAL

CASE # _____

BEST MANAGEMENT PRACTICES - NOTES

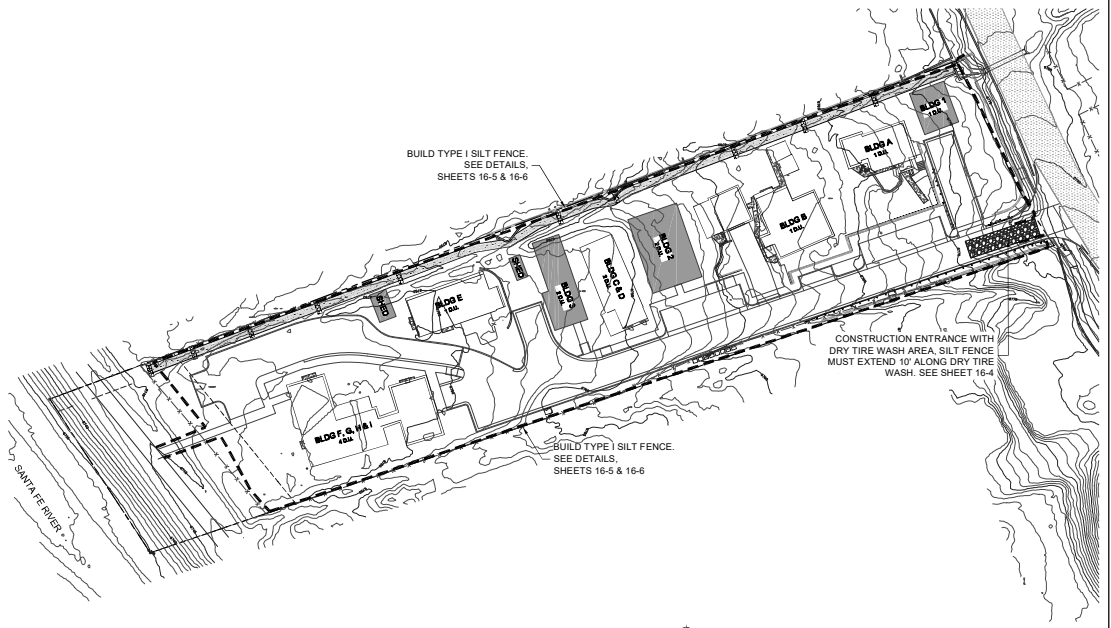
1. DISTURBED AREAS SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION BY MEANS ADEQUATE TO RETAIN SOIL ON SITE.
2. EXCEPT AS NECESSARY TO INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES, LAND SHALL NOT BE GRADED OR CLEARED UNTIL ALL SUCH TEMPORARY DEVICES HAVE BEEN PROPERLY INSTALLED AND INSPECTED. CONTROL DEVICES SHALL BE KEPT IN PLACE AND USED UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
3. SIGNIFICANT TREES, AREAS WITH SUBSTANTIAL GRASS COVERAGE, AND DRAINAGE WAYS THAT ARE TO REMAIN UNDISTURBED SHALL BE FENCED OFF PRIOR TO THE USE OF ANY HEAVY MACHINERY ON-SITE AND DURING THE ENTIRE CONSTRUCTION PROCESS. FENCING SHALL BE PLACED FIVE FEET TO THE OUTSIDE OF THE DRIP LINE OF SIGNIFICANT TREES.
4. SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION THROUGHOUT CONSTRUCTION BY USING APPROPRIATE EROSION CONTROL TECHNIQUES. STAGING AND SOIL STOCKPILE AREAS SHALL BE CLEARLY DESIGNATED ON THE SITE. ALL TOPSOIL SHALL BE KEPT ON SITE, WITHIN THE DISTURBANCE ZONE OF CONSTRUCTION, AND REINTRODUCED IN TO PLANTING AREAS TO THE EXTENT POSSIBLE. THERE ARE NO SOIL STOCKPILES ASSOCIATED WITH THIS PROJECT.
5. WATERING DOWN EXPOSED AREAS IS REQUIRED TO PREVENT THE BLOWING OF DUST OR SEDIMENT.
6. PROTECTION FOR STORM DRAIN INLETS SHALL BE PROVIDED TO PREVENT THE ENTRY OF SEDIMENT WHILE STILL ALLOWING THE ENTRY OF STORM WATER.
7. EROSION AND SEDIMENT CONTROL SHALL BE ACCOMPLISHED BY WATERING AND/OR FIBER MULCH WITH TACKIFIER.
8. ALL CONSTRUCTION TRAFFIC SHALL USE TIRE WASHES.

MAINTENANCE RESPONSIBILITIES AND INSPECTIONS

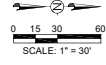
1. DISTURBED AREAS, STABILIZATION AND STRUCTURAL CONTROL MEASURES SHALL BE INSPECTED AS REQUIRED AND AT LEAST ONCE EVERY TWO WEEKS, AND WITHIN 24 HOURS OR THE NEXT WORKING DAY OF THE END OF A STORM EVENT. IF A PORTION OF THE SITE HAS BEEN FINALLY OR TEMPORARILY STABILIZED, AND RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS, OR DURING SEASONAL ARID PERIODS, INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. THE STORM WATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN GOOD CONDITION AND PROMPTLY REPAIRED TO ENSURE THAT THE SYSTEM IS MAINTAINED IN PROPER WORKING CONDITION.
3. IF AFTER NOTICE BY THE CITY TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE WITHIN A REASONABLE PERIOD OF TIME, THE CITY MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE CONTRACTOR SHALL BE ASSESSED THE ASSOCIATED COSTS OF THE WORK.

LEGEND

- AS DIRECTED BY CITY STAFF
- TYPE I SILT FENCE TO BE UTILIZED. SEE SHEETS 16-5 & 16-6 FOR DETAILS



TEMPORARY EROSION CONTROL PLAN
SCALE: 1" = 30'



CASE # _____

CITY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WATERWORKS MANAGEMENT DIV.	SIGNATURE ON FILE	
WATER SERVICES		
STREETS DIV.		
TRAFFIC DIV.		
TIRE		
LANDSCAPE SUBDIVISION		
ENGINEER		
CITY	USE	ONLY

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REZONING AND DEVELOPMENT PLAN SUBMITTAL FOR LOS CANALES SANTA FE, NEW MEXICO		
TEMPORARY EROSION CONTROL PLAN		
DATE: SEPTEMBER 2021	SCALE: 1" = 30'	SHEET: 16-2

ENGINEER'S SEAL	
DATE	
REVISIONS	

EXHIBIT B

GURULE, GERALDINE A.

From: LOGSTON, LEE R.
Sent: Monday, November 1, 2021 10:29 AM
To: GURULE, GERALDINE A.
Subject: FW: Email for November 4th Meeting

From: Richard R <remainsmon@hotmail.com>
Sent: Monday, November 1, 2021 8:53 AM
To: LOGSTON, LEE R. <llogston@santafenm.gov>
Subject: Email for November 4th Meeting

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Greetings Lee.

Just wanted to introduce myself to the Planning Commission and everyone involved, and put in writing my concerns about the proposed site plan, and how it will affect my living situation. Firstly, I am serious about purchasing my unit, and have been engaging in the pre-sale process with Homewise advisor Anda Enache. I am 71 years old, have been tenant here for 20 years, and have always loved living here. I welcome the opportunity to purchase this place that I love, and hopefully I can do it. It suits my life perfectly and I feel very connected to it. The site plan, as proposed will place two 2 story units on the north and south sides of me, with 10 foot setbacks. Let me first point out that I have only two windows in my unit (not counting a small bathroom window), a south facing and a north, about 6 feet in length. The proposed buildings will significantly affect the sunlight that gets to my unit, and, in doing so, also effect a major source of heat in the winter. I have a front yard, which extends about 18 feet to the south of my unit. Given the proposed setbacks, this will be shortened, as well as deprived of sunlight. I have expressed my concerns to people working with Homewise. Most recently, I had a good talk with Lee Logston, who helped me greatly to understand the ins and outs of rezoning. I also talked with Jennifer Jenkins, at his recommendation, to express my concerns, and to understand more completely the legal rules affecting setback distances. The talk went well, she was very receptive, and indicated a willingness to engage in a dialog, that might make me feel more comfortable with the changes going forward. Thanks for listening and regards, Richard

P.S. Lee, would you mind shooting me back an email, just acknowledging that you received this. Thanks

EXHIBIT B

GURULE, GERALDINE A.

From: LOGSTON, LEE R.
Sent: Monday, November 1, 2021 5:04 PM
To: GURULE, GERALDINE A.
Subject: FW: Nov. 4th Planning Commission Public Hearing

From: Jeanne DiLoreto <jeanne.diloreto@gmail.com>
Sent: Monday, November 1, 2021 3:33 PM
To: LOGSTON, LEE R. <lrllogston@santafenm.gov>
Subject: Nov. 4th Planning Commission Public Hearing

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Lee Logston,

Regarding the Los Canales Development at 2190 West Alameda, I am concerned that any construction does not violate the Solar Rights I have for my property at 149 Calle Don Jose, Santa Fe, 87501.

Although any violation of my Solar Rights may be unlikely, the developers should be aware of my Solar Rights, granted under the NM Solar Rights Act. These are the details:

- Boundary Survey with Cross Sections for Solar Rights for Jeanne DiLoreto, of Lot 9, Block 1, Rio Vista Subdivision

- County of Santa Fe, NM Instrument # 1784978 filed on January 26, 2016 and duly recorded in Plat Book 798 page 33; witnessed and notarized by the Santa Fe County Clerk

I also remain concerned about violation of the requirements for the River Trail Lofts development at 2180 West Alameda including but not limited to public pedestrian access to the River Trail and dedication to the city of the public sidewalk along West Alameda. The Planning Commission should be aware that these violations are done unilaterally and with impunity by the developer and the HOA, with no enforcement from city authorities. Pedestrians do use the sidewalk along this side of West Alameda, there is no sidewalk on the other side of the street.

Hopefully the requirements for Los Canales will be followed.

Otherwise, I fully support the Los Canales development especially including the 3 of the 14 units to be affordable. Although it appears to be changing, historically Santa Fe residents were not economically segregated, a legacy that makes our city unique and something we should continue and preserve.

Jeanne DiLoreto

149 Calle Don Jose
Santa Fe, NM 87501

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2021-4245**2190 W. Alameda Street; Los Canales Final Development Plan****Owner's/Applicant's Name-** Homewise, Inc.**Agent's Name-** JenkinsGavin, Inc.

THIS MATTER came before the Planning Commission (Commission) for public hearing on November 4, 2021 (Hearing) upon the application (Application) of JenkinsGavin, Inc., as agent for Homewise, Inc. (Applicant).

The Application pertains to a property located at 2190 W. Alameda Street totaling approximately 2.0 acres (Property). The Applicant requests approval of a final development plan for fourteen residential units (Project). The Property is zoned R-5 (Residential- five dwelling units per acre).

In related Case #2021-4244, the Applicant requests a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential-seven dwelling units per acre) for a property located at 2190 W. Alameda Street.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. SFCC 1987 Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987 § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 § 14-3.1(F)(2)(a)(iv)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 § 14-3.1(H)-(I)].
2. A pre-application conference was held on June 10, 2021 in accordance with SFCC 1987 Section 14-3.1(E)(1).
3. Pursuant to SFCC 1987 Section 14-3.1(H), notice of the ENN meeting was properly given.
4. Pursuant to SFCC 1987 Section 14-3.1(F), a virtual ENN meeting was held on the Application on July 22, 2021. The ENN meeting was attended by the Project team and City staff. Five current residents attended, and Homewise staff has continued to meet with and address questions and concerns over improving resident collaboration in the entitlement and development process, storm water management, driveway improvements and new parking areas, storage needs, timeline for construction, and ideas for minimizing impact to residents.
5. City staff reviewed the final development plan Application, and the related materials and information submitted by the Applicant, for conformity with applicable SFCC requirements and provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.

EXHIBIT B

Case #2021-4245

2190 W. Alameda Street; Los Canales Final Development Plan

6. Staff recommended that the Commission recommend approval by the Governing Body of the final development plan, subject to Conditions and the technical corrections set forth in the Staff Report and exhibits.

Development Plan

7. Pursuant to SFCC 1987 Section 14-2.3(C)(1) and Section 14-3.8(B)(2), the Commission has the authority to review and make recommendations to the Governing Body regarding development plans required for rezonings.
8. At the Hearing, the Commission considered the Application in this case concurrently with the application in Case #2021-4244, and the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
9. Under SFCC 1987 Section 14-4.2(E)(2), a R-7 rezoning request requires consideration and approval by the Commission and the Governing Body of a development plan for the property.
10. In this case, the Applicant wishes to establish custom setbacks through the development plan to account for existing conditions.
11. SFCC 1987 Section 14-3.8 establishes certain procedures for development plan approval including, without limitation, a public hearing by the Commission and a recommendation to the Governing Body based on the criteria set out in SFCC 1987 Section 14-3.8(D).
12. SFCC 1987 Section 14-3.8(C)(1) requires the Applicant to submit plans and other documentation that demonstrates conformance with applicable provisions of the SFCC (Submittal Requirements).
13. The information contained in the Staff Report and exhibits is sufficient to establish that the Submittal Requirements have been met.
14. SFCC 1987 Section 14-3.8(D)(1) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending approval a development plan.
15. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(a), the Commission finds that it has the authority to review the development plan under SFCC 1987 Sections 14-2.3(C)(1), 14-3.8(B)(4), and Table 14-2.1-1.
16. SFCC 1987 Subsection 14-3.8(C)(2)(a) requires the Planning Commission to review and make a recommendation to the Governing Body regarding development plans required for rezonings
17. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(b), the Commission finds that the development plan will not adversely affect the public interest. The Governing Body has implemented the General Plan and ordinances to establish minimum standards for health, safety and welfare affecting land uses and developments as a means to protect the public interest. This project serves the public interest through the provision of affordable housing in a neighborhood-sensitive manner.
18. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(c), the Commission finds that the use and any associated buildings are compatible with and adaptable to buildings, structures, and uses of the abutting property and other properties in the vicinity of the premises under consideration. The River Trail Lofts to the east is zoned R-7, and the property to the west is zoned R-5 as is much of the surrounding land. The project is located within the Rio Vista Area of the West Santa Fe River Corridor Overlay Zoning District, which recommends R-7 density.

EXHIBIT B

Case #2021-4245

2190 W. Alameda Street; Los Canales Final Development Plan

- 19. Pursuant to SFCC 1987 Section 14-3.8(D)(2), the Commission “may specify conditions of approval that are necessary to accomplish the proper development of the area and to implement the policies of the general plan.”
- 20. The Commission finds that the Conditions and technical corrections set forth in the Staff Report and exhibits are necessary to accomplish the proper development of the area and to implement the policies of the general plan.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

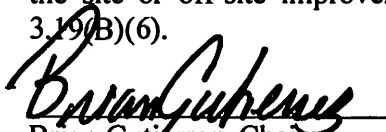
- 1. Pursuant to SFCC 1987 Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

Development Plan

- 2. The Commission has the authority to review and make recommendations to the Governing Body regarding development plans related to rezoning requests.
- 3. The Applicant met the applicable Submittal Requirements.
- 4. The Commission should recommend approval of the requested final development plan, subject to the conditions and technical corrections recommended by staff, because all applicable code requirements and criteria for recommendation of approval of the proposed final development plan have been met.


WHEREFORE, IT IS ORDERED ON THE 4th DAY OF NOVEMBER 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends that the Governing Body approve the final development plan for the Property, as requested in the Application for Case #2021-4245, subject to the Conditions and the technical corrections set forth in the Staff Report and exhibits. The final development plan shall expire three years after issuance of Governing Body approval per SFCC 1987 Section 14-3.19(B)(4) unless actual development of the site or off-site improvements has begun and is continued pursuant to SFCC Section 14-3.19(B)(6).


 Brian Gutierrez, Chair

11-15-2021
 Date

FILED:


 Kristine Bustos-Mihelcic
 City Clerk XIV

11/15/21
 Date

EXHIBIT B

Case #2021-4245
2190 W. Alameda Street; Los Canales Final Development Plan

APPROVED AS TO FORM:

Patricia Feghali
Patricia Feghali
Assistant City Attorney

11/5/21
Date

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2021-4244**2190 W. Alameda Street; Los Canales Rezoning****Owner's/Applicant's Name- Homewise, Inc.****Agent's Name- JenkinsGavin, Inc.**

THIS MATTER came before the Planning Commission (Commission) for public hearing on November 4, 2021 (Hearing) upon the application (Application) of JenkinsGavin, Inc., as agent for Homewise, Inc. (Applicant).

The Application pertains to a property located at 2190 W. Alameda Street totaling approximately 2.0 acres (Property). The Applicant requests a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential-seven dwelling units per acre).

In related Case #2021-4245, the Applicant requests final development plan approval for fourteen residential units for a property located at 2190 W. Alameda Street.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. SFCC 1987 Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987 §14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 §14-3.1(F)(2)(a)(iii)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 §14-3.1(H)-(I)].
2. A pre-application conference was held on June 10, 2021 in accordance with SFCC 1987 Section 14-3.1(E)(1).
3. Pursuant to SFCC 1987 Section 14-3.1(H), notice of the ENN meeting was properly given.
4. Pursuant to SFCC 1987 Section 14-3.1(F), a virtual ENN meeting was held on the Application on July 22, 2021. The ENN meeting was attended the Project team and City staff. Five current residents attended, and Homewise staff has continued to meet with and residents to address questions and concerns over improving resident collaboration in the entitlement and development process, storm water management, driveway improvements and new parking areas, storage needs, timeline for construction, and ideas for minimizing impact to residents.
5. City staff reviewed the rezoning Application, and the related materials and information submitted by the Applicant, for conformity with applicable SFCC requirements and provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.

EXHIBIT B

Case #2021-4244

2190 W. Alameda Street; Los Canales Rezoning

6. Staff recommended that the Commission recommend approval of the rezoning to the Governing Body.

Rezoning

1. Pursuant to SFCC 1987 Section 14-2.3(C)(7)(c) and Section 14-3.5(B)(1), the Commission has the authority to review and make recommendations to the Governing Body regarding rezonings.
2. At the Hearing, the Commission considered the Application in this case concurrently with the application in Case #2021-4245, and the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
3. Pursuant to SFCC 1987 Section 14-3.5(A)(1)(d), any person may submit a written request for rezoning, along with all submissions required by the SFCC 1987 Chapter 14 and any other information requested by the land use director as reasonably necessary to determine compliance with Chapter 14 (Submittal Requirements).
4. In this case, the Applicant seeks a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential-seven dwelling units per acre).
5. SFCC 1987 Section 14-3.5(B) sets out procedures for rezoning and requires the Commission to hold a public hearing, review the Application, and make a recommendation to the Governing Body.
6. SFCC 1987 Section 14-3.5(C) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending a rezoning.
7. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(a)(i), the Commission finds that the criterion is not applicable.
8. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(a)(ii), the Commission finds that the criterion is not applicable.
9. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(a)(iii), the Commission finds that the rezoning will be more advantageous to the community, as articulated in the West Santa Fe River Corridor Plan, which recommends residential infill densities of R-5 to R-7, allowing for the efficient use of public infrastructure, increasing much-needed housing supply, and creating new affordable housing.
10. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(b), the Commission finds that all the rezoning requirements of Chapter 14 have been met.
11. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(c), the Commission finds that the proposed rezoning is consistent with the applicable policies of the general plan regarding affordable housing, sustainable growth, and community character, respecting the evolution of land use patterns while preserving community character. The Future Land Use Map designation for the parcel is 3-7 dwellings per acre, which supports the proposed R-7 zoning.
12. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(d), the Commission finds that the property is of sufficient size for rezoning and the proposed use for the land is consistent with city policies regarding the provision of urban land sufficient to meet the amount, rate and geographic location of the growth of the city. The Growth Management Chapter of the General Plan promotes infill development of this density.

EXHIBIT B

Case #2021-4244

2190 W. Alameda Street; Los Canales Rezoning

- 13. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(e), the Commission finds that the existing and proposed infrastructure can be modified to accommodate the impacts of the proposed development. The site is served by existing roadways, public water, and public sewer infrastructure. In addition, the site is adjacent to the Santa Fe River Greenway Trail, providing access to the City’s network of urban trails and open space.
- 14. Pursuant to SFCC 1987 Section 14-3.5(C)(2)(a), the Commission finds that the proposed zoning amendment will enable the construction the type of infill development that both the General Plan and the West Santa Fe River Corridor Plan specifically encourage. It represents a minimal increase in density following traditional Santa Fe acequia development style
- 15. Pursuant to SFCC 1987 Section 14-3.5(C)(2)(b), the Commission finds that at 2.0 acres, the proposed rezoning is over the two acre threshold, and is a zoning boundary adjustment.
- 16. Pursuant to SFCC 1987 Section 14-3.5(C)(2)(c), the Commission finds that the proposed rezoning will not benefit one or a few landowners at the expense of the surrounding landowners or the general public, in that the proposed project aligns well with numerous General Plan policies and principles, and is a model of the type of infill development that both the General Plan and the West Santa Fe River Corridor Plan specifically encourage.
- 17. Pursuant to SFCC 1987 Section 14-3.5(D)(1) & (2), the Commission finds that the proposed rezoning and density can be accommodated by the road and other infrastructure in the area.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

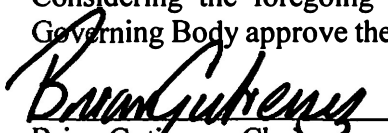
- 1. Pursuant to SFCC 1987 Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

Rezoning

- 1. The Applicant has the right under the SFCC to propose the rezoning of the Property.
- 2. The Commission has the power and authority at law and under the SFCC to review the proposed rezoning of the Property and to make recommendations regarding the proposed rezoning to the Governing Body.
- 3. The Applicant met the applicable Submittal Requirements.
- 4. The Commission should recommend approval of the requested rezoning because all applicable code requirements and criteria for recommendation of approval of the proposed rezoning have been met.

WHEREFORE, IT IS ORDERED ON THE 4th DAY OF NOVEMBER 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends that the Governing Body approve the rezoning, as requested in the Application for Case #2021-4244.


 Brian Gutierrez, Chair

11-15-2021
 Date

EXHIBIT B

Case #2021-4244
2190 W. Alameda Street; Los Canales Rezoning

FILED:

Kristine Bustos-Mihelcic
Kristine Bustos-Mihelcic
City Clerk *XIV*

11/15/21
Date

APPROVED AS TO FORM:

Patricia Feghali
Patricia Feghali
Assistant City Attorney

11/5/21
Date

EXHIBIT B

**SUMMARY INDEX
PLANNING COMMISSION MINUTES
NOVEMBER 4, 2021**

ITEM	ACTION TAKEN	PAGE(S)
A. Roll Call	Quorum Present	1
B. Pledge of Allegiance	Recited	1
C. Approval of Agenda	Approved as published	2
D. Approval of Minutes	Approved	2
E. Findings & Conclusions	None	2
F. Old Business	None	2
G. New Business		
1. Case #2021-4240. Tierra Contenta Tract 50A Preliminary Subdivision	Approved	2-5
2. Case #2021-4241. Tierra Contenta Tract 50A Lot line adjustment And Findings of Fact and Conclusions of Law	Approved	2-5
3. Case #2021-3976. 123 and 135 Grant Ave. Development Plan	Approved	5-10
4. Case #2021-3977. 123 and 135 Grant Ave. Variance	Approved	5-10
5. Case #2021-3978. 123 and 135 Grant Avenue Variance, Exhibit A Withdrawn		
6. Case #2021-4242. 220 Otero Street Final Development	Approved	10-13

EXHIBIT B

7. Case #2021-4243. 220 Otero Street Variance	Approved	10-13
8. Case #2021-4244. 2190 West Alameda Street Rezoning	Approved	13-19
9. Case #2021-4245. 2190 West Alameda Street Final Development	Approved	13-19
10. Case #2021-4246. Plaza del Monte Preliminary Development	Approved	19-24
11. Case #2021-4247. Plaza del Monte Preliminary Subdivision	Approved	19-24
H. Staff Communications	Comments	24
I. Matters from the Commission	Comments	24
J. Adjournment	Adjourned at 9:30 pm	24

MINUTES OF THE CITY OF SANTA FE PLANNING COMMISSION
Thursday, November 4, 2021 - 6:00 pm
VIRTUAL HEARING

CALL TO ORDER

Chair Gutierrez was having technical difficulties; therefore, Vice Chair Hogan began the meeting.

A regular meeting of the City of Santa Fe Planning Commission was called to order by Vice Chair Hogan on the above date at approximately 6:00 p.m. at a virtual meeting.

A. ROLL CALL

Roll Call indicated the presence of a quorum for the meeting.

Members Present

Commissioner Brian Patrick Gutierrez, Chair
Commissioner Mark Hogan, Vice Chair
Commissioner Janet Clow, Secretary
Commissioner Pilar Faulkner
Commissioner Jessica Lawrence
Commissioner Dan Pava

Members Absent

Commissioner Lee Garcia
Commissioner Dominic Sategna
One vacancy

Others Present:

Mr. Jason Kluck, Interim Land Use Director
Mr. Noah Berke, Planning Manager
Ms. Patricia Feghali, Assistant City Attorney
Ms. Melissa D. Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Land Use Department.

B. PLEDGE OF ALLEGIANCE

Commissioner Faulkner led the pledge of allegiance.

Mr. Berke introduced the new Planning Commissioner, Dan Pava.

EXHIBIT B

Commissioner Pava said he served on the Commission from 2013 to 2015 and is looking forward to joining the Commission. He is a retired from the Labs and an environmental planner who has worked in California and Oregon and for Albuquerque, Los Alamos and Rio Rancho. He has associations with the American Planning Association and is a Fellow of the American Institute of Certified Planners. He said this is a crucial time to work for the Planning Commission in Santa Fe and take part in the important decisions, not just case-by-case, but the direction of the city.

Vice Chair Hogan welcomed Commissioner Pava and was glad he joined them. He asked Chair Gutierrez to let him know when he is connected.

C. APPROVAL OF AGENDA

MOTION: Commissioner Faulkner moved, seconded by Commissioner Lawrence to approve the agenda as published.

VOTE: The motion passed by majority roll call vote with Commissioners Clow, Faulkner and Lawrence voting in favor, none voting against and Commissioner Pava abstaining.

D. APPROVAL OF MINUTES

1. October 21, 2021

MOTION: Commissioner Faulkner moved, seconded by Commissioner Lawrence to approve the minutes of September 21, 2021, as presented.

VOTE: The motion passed by majority roll call vote with Commissioners Clow, Faulkner and Lawrence voting in favor, none voting against and Commissioner Pava abstaining.

E. APPROVAL OF FINDINGS/CONCLUSIONS

None.

F. OLD BUSINESS

None.

G. NEW BUSINESS

1. **Case #2021-4240. Tierra Contenta Tract 50A Arroyo Oeste Phase 2 Preliminary Subdivision.** Orallynn Guerrerortiz of Design Enginuity, LLC, Agent, representing The Housing Trust, Owner, requests approval of a Preliminary Subdivision Plat for 20 single-family lots. The applicant also

EXHIBIT B

requests an innovative road design to allow the removal of the planting strip between defined parking spots and the back of curb. The property is zoned PRC (Planned Residential Community), is Tract 50A within Tierra Contenta Phase 2C, and is approximately 3.21 acres. (Donna Wynant, Case Manager).

2. **Case #2021-4241. Tierra Contenta Tract 50A Arroyo Oeste Phase 2 Lot Line Adjustment.** Orallynn Guerrerortiz of Design Enginuity, LLC, Agent, representing The Housing Trust, Owner, requests approval of a lot line adjustment to modify tract boundaries to the Arroyo Oeste Phase 2 Preliminary Subdivision Plat to incorporate some steep slopes into the open space tract, and to create deeper lots to accommodate planned house designs. The property is zoned PRC (Planned Residential Community), is Tract 50A within Tierra Contenta Phase 2C, and is approximately 3.21 acres. (Donna Wynant, Case Manager).

EXECUTIVE SUMMARY

Arroyo Oeste is proposed for Tract 50A in Phase 2C of Tierra Contenta, near the western border of Tierra Contenta and near the intersection of Jaguar Drive and SR 599 and just north of Arroyo Oeste Phase 1, which was approved in 2019, and currently under construction. The project is located on 3.21+ acres and will include 20 residential lots developed in a single phase. Tract 50A is designated as a residential tract on the Tierra Contenta Master Plan under Phase 2C, with an allowable density of 6-9 units per acre. The current request is for a density of 6.23 units per acre. The Application includes a lot line adjustment and an innovative street design request.

STAFF RECOMMENDATION

The proposed preliminary subdivision is in compliance with the Tierra Contenta Master Plan and Phase 2C Design Guidelines and meets all development standards and approval criteria and does not create or increase any non-conformities with Chapter 14; therefore, staff recommends approval, with the conditions of approval listed in the staff report.

APPLICANT'S PRESENTATION

Orallynn Guerrerortiz, Design Enginuity, 1421 Luisa St., Suite E, was sworn. She showed the location and noted Phase 1 is under construction to the southwest. Another subdivision that is completely built is to the northeast. The project is on the far west side of the Tierra Contenta subdivision and 20 lots are proposed. The roads have 45 feet rights-of-way with public utilities and sidewalks and will use the innovative road design seen on Agua Fria and Phase 1. She doesn't like the City standards for parking and intends to provide a wider planter strip to make it easier for people to get out of their cars. The plan was reviewed with staff and by John Romero, and approved several times. The

EXHIBIT B

drive lanes will remain at 10 and parking is at six feet, and there will be a consistent 45-foot right-of-way.

Ms. Guerrerortiz said the applicant has agreed to all staff's conditions.

PUBLIC HEARING

Vice Chair Hogan closed the public hearing seeing no one wanting to comment.

COMMISSION DISCUSSION

Commissioner Pava noted that looking at the renderings, streetscapes don't need to be provided and the setbacks are minimized. He asked for more description of how the setbacks would look and if there was a nearby frame of reference.

Ms. Guerrerortiz displayed the site plan. She pointed out the setbacks are the standard for zones R-1 through R6, 5 foot sides and 15 foot rear setbacks. She said she just noticed that the site plan had been mislabeled, but they did meet the City's standard for 7.5 feet for setback. There will be landscaping and street trees between the curb and gutter. Trees will be behind the sidewalks where the sidewalk is directly against parking spaces. There is no loss of trees or changes in setbacks, they are just making the sidewalk adjacent to the parking, which is considered innovative.

Commissioner Pava said he was interested in the appearance of the streetscape, but similar subdivisions will give him a good idea what can be done with this lot configuration.

Commissioner Faulkner said she liked the idea of removing the landscaping because if turned over to the City or residents, weeds will be a problem. She asked if they would look at the line adjustments.

Ms. Guerrerortiz said she could show all of it. She displayed a diagram showing the open space will be taken from existing open space. The changes requested are because the lot is unusually shaped. The net result is a gain of open space.

MOTION: In Case #2021-4240, Tierra Contenta Tract 50A Arroyo Oeste Phase 2 Preliminary Subdivision, Commissioner Lawrence moved to approve, subject to conditions of approval and technical corrections recommended by staff. Commissioner Faulkner seconded the motion.

MOTION: In Case #2021-4240, Tierra Contenta Tract 50A Arroyo Oeste Phase 2, Street Design, Commissioner Lawrence moved to approve as included in the plans. Commissioner Faulkner seconded the motion.

EXHIBIT B

VOTE: The motions for the Preliminary Subdivision and Street Design passed by unanimous roll call vote with Commissioners Clow, Faulkner, Lawrence, Pava and Chair Gutierrez voting in favor, and none voting against.

MOTION: In Case #2021-4240, Tierra Contenta Tract 50A Arroyo Oeste Phase 2, Findings of Fact and Conclusions of Law, Commissioner Lawrence moved to approve as presented. Commissioner Faulkner seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Lawrence, Pava and Chair Gutierrez voting in favor and none voting against.

Chair Gutierrez resumed the position of chair at this time.

3. **Case #2021-3976. 123 and 135 Grant Avenue Development Plan.** Lorn Tryk Architects, Agent, for 123-135 Grant LLC (on behalf of the Georgia O'Keeffe Museum), Owner, request development plan approval to construct a 54,100 square foot structure for use as a museum. The properties are located at 123 Grant Avenue (consisting of approximately 1.2174 acres) and 135 Grant Avenue (consisting of approximately 0.7670 acres). The project site is zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager). **(POSTPONED ON SEPTEMBER 2, 2021)**
4. **Case #2021-3977. 123 and 135 Grant Avenue Variance to Subsection 14-8.6(C)(2)(b).** Lorn Tryk Architects, Agent, for 123-135 Grant LLC (on behalf of the Georgia O'Keeffe Museum), Owner, request variance to Subsection 14-8.6(C)(2)(b) to allow off site parking greater than 600 feet from the closest property line. The properties are located at 123 Grant Avenue (consisting of approximately 1.2174 acres) and 135 Grant Avenue (consisting of approximately 0.7670 acres). The project site is zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager). **(POSTPONED ON SEPTEMBER 2, 2021)**
5. **Case #2021-3978. 123 and 135 Grant Avenue Variance to Exhibit A - Table 14-8.6-1.** Lorn Tryk Architects, Agent, for 123-135 Grant LLC (on behalf of the Georgia O'Keeffe Museum), Owner, request variance to Table 14-8.6-1 "Parking and Loading Requirements" to allow 93 parking spaces where 119 parking spaces are required. The properties are located at 123 Grant Avenue (consisting of approximately 1.2174 acres) and 135 Grant Avenue (consisting of approximately 0.7670 acres). The project site is zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within

EXHIBIT B

the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager). **(POSTPONED ON SEPTEMBER 2, 2021) (WITHDRAWN)**

EXECUTIVE SUMMARY

The subject site is comprised of five lots; 5 thru 9 of the “Fort Marcy Addition of the City of Santa Fe”. Today Lots 5 ,6, and 7 total approximately 1.21 acres, and are addressed as 123 Grant Avenue (Area 1a), and lots 8 and 9 total approximately 0.76 acres and are addressed as 135 Grant Avenue (Area 1). There is no evidence to support these lots were consolidated with City review and approval. Consolidation plats shall be required for review and approval by the city prior to filing the Development Plan.

The Applicant is requesting to construct an 54,100 square foot structure for museum use. The structure will be a 38’ 8” high single-story building with a partial basement caring a footprint on the ground of 38,595 square feet.

The Applicant is also requesting a variance to address parking needs:

1. Off-street Parking located within six hundred (600) feet of nearest property line of the parcel required by Subsection 14-8.6(C)(2)(b).

The Applicant has complied with 14-3.1(E) “*Pre-application*,” 14-3.1(H) “*Notice Requirements*” for Public Hearings, and 14-3.1(F) “*Early Neighborhood Notification*.”

The City’s Development Review Team (“DRT”) reviewed this development application for compliance with applicable City Code sections (reference Exhibit C for DRT Comments).

STAFF RECOMMENDATION

Staff’s analysis identified that the Application has satisfied Development Plan approval criteria according to §14-3.8(D) “*Development Plan*,” and Variance Criteria according to §14-3.16(C) “*Approval Criteria*,” subject to conditions of approval and technical correction listed in Exhibit A of the staff report.

Staff removed conditions 3 and 4 from their conditions of approval because an archaeological clearance will be provided by the City and the applicant is moving forward with the State Historic Preservation and federal government.

APPLICANT’S PRESENTATION

Jennifer Jenkins, 130 Grant Avenue, Suite 101, was sworn. She introduced Cody Hartley, Executive Director of the Georgia O’Keeffe Museum, Lorn Tryk, and the architects, landscape designers, engineering, and planning team and the owners.

EXHIBIT B

Cody Hartley, 217 Johnson Street, was sworn. He said the museum will celebrate 25 years next summer and has been immensely popular and visitation exceeded expectation. The museum is often filled to capacity. The museum is among one of the most visited art museums in the country, but their gallery size is one of the smallest at 5,000 square feet. Their collections have also grown from 118 works of art, 94 by Georgia O'Keeffe, to more than 7000 objects. Storage is a struggle but most importantly they can no longer meet their obligations to the community. This will allow them to welcome school tours with a safe loading zone and expand educational community programming indoors and out. The project includes significant green space. The proposal allows them to serve the needs of the audiences as well as tourists with an approach to public engagement reflecting the values and needs of the community. They have called upon donors across the nation to fund the project and have received support from The National Endowment for Humanities. Their vision is to create a facility to meet the needs of the community and visitors that is worthy of New Mexico, Santa Fe and Georgia O'Keeffe.

Ms. Jenkins indicated since June 2020; people are able to get information on the project. Early Neighborhood Notification meetings were held, and they met with neighboring businesses, public schools and held public meetings throughout the City. No modifications are proposed to the Berger House, only to the landscaping. The property is in the Business Capitol District and Downtown Historic District and the preliminary design review was done with the Historic Districts Review Board with positive feedback.

Ms. Jenkins reviewed the existing conditions. The site is non-compliant with current design regulations. The building is three sided with the front door on Grant Avenue and an entrance also on the north side. This will make an open pedestrian connection between Grant Avenue and Sheridan Street and 45% will be dedicated to landscaped open space. Many of the gardens will evoke those of Georgia O'Keefe's home with natural native landscaping, and the existing lawn will be reduced. Stormwater will be collected; the sidewalks will be widened and the street trees on Grant Ave will be supplemented. The building design was inspired by traditional Northern New Mexico architecture and the O'Keefe home in Abiquiu. Both sites total just under 2 acres together and the Museum is just over 55,000 square feet, about 60% lot coverage. The maximum allowable height is 34' 8" inches, and this is 33' 8". There is a partial basement for curation and preservation of the collection. The current building and streetscape were shown with the parking and then a view of the proposed design once completed.

Ms. Jenkins addressed traffic and the parking analysis, noting that none of the downtown museums provide parking. The analysis shows a parking demand of 24 spaces, but 92 spaces will be provided in two off-site parking lots. The ITE (Institute for Transportation Engineers) national standards for conducting traffic analyses and parking had no local data. The ITE used similar data from other states to predict the parking demand which shows an estimate on weekdays at 48 spaces at peak hours and 50 spaces for weekends. Off-site parking is required by Code to be within 600 linear feet, and is why there is a request for variance. The Chapelle lot is just over 816 feet and will provide 100% of the required parking. They will have a second parking area with 67 spaces on San Francisco Street.

PUBLIC HEARING

Chair Gutierrez closed the public hearing seeing no one wanting to comment.

COMMISSION DISCUSSION

Vice Chair Hogan was surprised there was not more public input. He congratulated Mr. Hartley for a great job. He said he loved the connections over to Sheridan. He thought they could create a natural pedestrian connection in the alleyway since it is almost a continuation of Johnson Street.

Ms. Jenkins said the alley is narrow and a public right-of-way. They felt it would be conflictive to put pedestrians where trucks would unload. Also, others utilize the alley, so it isn't a good fit.

Vice Chair Hogan thanked her for the explanation. He confirmed that the gardens were open to the public but would be closed at night.

Commissioner Pava said this is a huge improvement. He asked if the large cottonwood in front of 135 Grant, is susceptible to damage during to construction.

Ms. Jenkins explained they are taking great pains during construction to protect the trees. The work will be limited to landscape improvements and fencing, and a big effort is around preservation of the existing landscaping.

Commissioner Pava asked the species of the street trees on Grant and Sheridan, noting respectfully that the landscape architects are from Connecticut.

Ms. Jenkins said the landscape design focuses on native vegetation of New Mexico, waterwise and drought tolerant. Everything is to authentically honor Georgia O'Keeffe's life, work, and her home in Abiquiu.

Mr. Hartley added that the lead landscape architect grew up in the Galisteo Basin and has local appreciation and understanding.

Commissioner Pava asked if they had collaborated with the Santa Fe Botanical Gardens.

Mr. Hartley said the Gardens have advised them on plant selection.

Commissioner Pava said the variance and reason is compelling for the parking but there are two major garages, Sandoval and the Convention Center Garage with over 900 spaces. He has never seen them full. He asked if that was considered because the San Francisco Street lot has great development potential. Also, he thought Guadalupe dangerous because of the traffic and speed.

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Ms. Jenkins explained both City parking lots as well as the surrounding lots, were pursued. They were told there are no long-term leases available.

Lorn Tryk , 436 W. San Francisco St., was sworn. He said he takes the pathway from West San Francisco to downtown all the time. It is safe and has a signalized intersection with crosswalks. He found the path very usable. He agreed they had pursued a closer option but did not find one.

Commissioner Pava said he still thinks it is an issue but it is the reason there is a variance. He said for the record, the staff report explains that every option had been pursued.

Commissioner Faulkner commended them on a really nice project. She said she likes what was designed for the outdoor space.

MOTION: In Case #2021-3976, 123 and 135 Grant Avenue Development Plan, Vice Chair Hogan moved to approve subject to the conditions of approval and technical corrections recommended by staff. Commissioner Clow seconded the motion.

Ms. Jenkins asked to confirm that the deleted conditions were reflected in the record.

Mr. Esquibel said they were included in the record.

Chair Gutierrez asked how the parking lots will be policed and if the lots will only be used for the museum gallery.

Ms. Jenkins said both lots are for exclusive use by the museum and there will be proper signage and the standard enforcement. Also, they will have a barcode on the ticket to open the gate among other great mechanisms, to ensure the parking is designated for the museum.

Chair Gutierrez asked the location of the bus stop where students will be dropped off and picked up.

Ms. Jenkins showed the area on Grant Avenue.

Chair Gutierrez confirmed it is equivalent to a loading zone.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

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MOTION: In Case #2021-3977, 123 and 135 Grant Avenue Variance to Subsection 14-8.6(C)(2)(b), Vice Chair Hogan moved to approve. Commissioner Faulkner seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

MOTION: Commissioner Hogan moved to approve the Findings of Fact and Conclusions of Law in Case #2021-3976 and Case #2021-3977 as shown in Exhibit B. Commissioner Clow seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

6. **Case #2021-4242. 220 Otero Street Final Development Plan.** Architectural Alliance, Inc., Agent, for Otero Partners, LLC, Owner, requests approval of a final development plan for an addition and remodel for a proposed hotel at 220 Otero Street comprising 38,567 square feet. The property is zoned BCDMAR (Business-Capitol District, Marcy Sub-District) and BCD EAS (Business-Capitol District, East Marcy/East Palace Sub-District), is within the Downtown and Eastside Historic District, and is approximately 1.11 acres. (Lee Logston, Case Manager).
7. **Case #2021-4243. 220 Otero Street Open Space Variance.** Architectural Alliance, Inc., Agent, for Otero Partners, LLC, Owner, requests approval of a variance to the Business-Capitol District, East Marcy/East Palace Sub-District front yard open space requirement in Table 14-7.4. The property is zoned BCDMAR (Business-Capitol District, Marcy Sub-District) and BCD EAS (Business-Capitol District, East Marcy/East Palace Sub-District), is within the Downtown and Eastside Historic District, and is approximately 1.11 acres. (Lee Logston, Case Manager).

EXECUTIVE SUMMARY

The Applicant seeks to redevelop a mid-block site at 220 Otero Street into a 38,567 square foot hotel. The proposal includes remodeling the McKee office building, constructing a two-story addition to the Annex building, and adding a small casita in the southern portion of the site. A preliminary development plan is required pursuant to SFCC Subsection 14-3.8(B)(a) for more than 30,000 square feet of development in any zone of the City.

The subject property lies within two Business Capitol District (BCD) sub-districts. The west side of the property is within the Marcy sub-district, and the east side is within the East Marcy/East Palace sub-district. The Applicant seeks a variance to the front yard

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open space requirement in SFCC Table 14-7.4(A)-1, Table of Dimensional Requirements for Business-Capitol District. The Applicant proposes to provide this open space in an existing courtyard in the front of the property that is set back from the street. The variance is necessary to develop the property as proposed. The development plan will establish development standards.

STAFF RECOMMENDATION

Staff recommended approval of the final development plan (Case #2021-4242), subject to conditions of approval and technical corrections outlined in the report, and Governing Body approval of the rezoning request. Staff recommends approval of the variance (Case #2021-4243).

APPLICANT'S PRESENTATION

Eric Enfield, 612 Old Santa Fe Trail, was sworn. He provided a brief history of the site. The proposal is to confirm the Annex in the main office building. He pointed out the current parking and fire access. The landscaping is the entrance to their property and a variance requested to do the open space and front yard in a different area, fronting on Otero Street.

He reviewed the site where they will add a casita and portal. The historic entry to the property has been maintained along with the access to the property. There is no car access from Washington Street. The second floor has about 60,000 square feet. There are no lot coverage restrictions and all setbacks for the subdistricts are met and final approval was received from the Historic Districts Review Board (HDRB).

Mr. Enfield said the infrastructure is in place. He said they agree with the staff report, but he wanted to address a few issues. A variance is required to put open space in the front yard but not along the property line, with the E. Marcy subdistrict. They meet the open space requirement for the project, but the current front yard of the office building is not along the property line. The proposal will keep it where it has been since the 1950s.

Irrigation plans will be provided, and they will do cisterns and they will maintain the three large pine trees in the northwest corner of the main building. The proposed water budget for estimated hotel use is about 605,437 gallons annually. The applicant will have to make up the difference based on the previous water bills. He will provide the difference of 318,688 gallons per year. The net water offset is required in the form of an option of water rights or retrofits.

They will meet all ADA requirements and provide the proper amount of bike racks, which is not shown on the site plan. Parking will be on site as well as off-site lease agreement with the adjacent neighbor who owns Marcy Plaza Parking. A total of 31 spaces is required and they provide 15 spaces, and the balance is the adjacent parking structure. Per Land Use Code they have provided a trip generation showing existing offices generate 17 cars in peak a.m. hours and 16 cars at peak p.m. hours. The proposal

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generates only 12 cars in peak morning hours and 12 at peak p.m. A traffic study was not required. They will provide all code requirements for fire sprinklers and the fire department, and all utility infrastructure is in place. The site was approved by the Archaeological Committee, which is in the packet.

Mr. Enfield introduced Hunter Redman who would describe the character of the building and answer questions.

Hunter Redman, 612 old Santa Fe Trail, was sworn. She started working on the project 15 years ago with the previous owner. The main building was developed in the 1950s in a contemporary Territorial style. The additions were designed to complement, without upstaging, the existing historic building to honor the building's history. The materials are compatible with the existing building and complements the adjacent two buildings. She said she is looking forward to this being part of the downtown community.

PUBLIC HEARING

Chair Gutierrez closed the public hearing seeing no one to comment.

COMMISSION DISCUSSION

Commissioner Pava asked for additional description of the connection between the Marcy Garage and the site; if there will be a ramp or a dedicated passageway.

Mr. Enfield said the site plan indicates stairs and they will tie into that to bring you down to the parking structure. Parking will probably be on the lower level that serves the Marcy Plaza building. They hope to provide pedestrian access to the site from the courtyard behind that, but another option is valet parking.

Mr. Pava thanked him for the clarification. He said he had a hard time visualizing how to get from the garage to the site.

Mr. Enfield added the applicant has to prove that all of the required parking is not already taken by the two Marcy Plaza buildings.

Vice Chair Hogan thought the variance a reasonable solution that would not compromise the character of the block. The landscaping gives the building room to breathe and is a valuable solution. He was also glad to see they will maintain the historical walkway entrance off Washington Street. He asked what functions would go into the existing building.

Mr. Enfield said hotel rooms and a lobby for the hotel which will be where the existing office building is, with the dual entrances.

Ms. Redman added the existing entrances will be maintained in the reception area. The first floor will have rooms and the bottom floor a small fitness facility and secondary

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housekeeping/staff space. There is also a small addition to the south that is attached to the building, but not publicly visible.

Vice Chair Hogan said from a design standpoint scrutiny, if the H-Board was happy, he is happy.

Mr. Enfield said they are proud of the massing of the building and the pedestrian access from Otero and Washington. The building will look like it did when it was built in 1950, with minor modifications.

MOTION: In Case #2021-4243, 220 Otero Street Open Space Variance, Vice Chair Hogan moved to approve. Commissioner Clow seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

MOTION: In Case #2021-4242, 220 Otero Street Final Development Plan, Vice Chair Hogan moved to approve subject to the conditions of approval and technical corrections recommended by staff. Commissioner Clow seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

MOTION: Vice Chair Hogan moved to approve the Findings of Fact and Conclusions of Law in Case #2021-4242 in Exhibit A1 and Case #2021-4243 in Exhibit A2. Commissioner Clow seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

8. **Case #2021-4244. 2190 West Alameda Street Los Canales Rezoning.** JenkinsGavin, Inc., Agent, for Homewise, Owner, requests approval of a rezoning from R-5 (Residential – five dwelling units per acre) to R-7 (Residential – seven dwelling units per acre) for a property located at 2190 West Alameda Street. The property is located within the West Santa Fe River Corridor Overlay District, and is approximately 2.01 acres. (Lee Logston, Case Manager).

9. **Case #2021-4245. 2190 West Alameda Street Los Canales Final Development Plan.** JenkinsGavin, Inc., Agent, for Homewise, Owner, requests approval of a final development plan for fourteen residential units

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for a property located at 2190 West Alameda Street. The property is located within the West Santa Fe River Corridor Overlay District, and is approximately 2.01 acres. (Lee Logston, Case Manager).

EXECUTIVE SUMMARY

The subject property currently consists of nine dwelling units on two acres. There are three detached homes, a duplex, and a four-plex, in addition to a variety of sheds and other accessory structures. The Applicant is requesting a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential- seven dwelling units per acre), which requires the concurrent submittal of a development plan. The development plan proposes the construction of two new buildings to house five new dwellings, for a total of fourteen dwelling units. Planned site improvements include driveway improvements, creation of formal parking spaces, construction of sidewalks and a pedestrian connection to the Santa Fe River Greenway Trail, and drainage upgrades. Three of the existing homes (20%) will be renovated and sold as affordable units in compliance with the Santa Fe Homes Program (SFHP) requirements. A private grant will allow the Applicant to achieve affordability of up to 50% of the homes within the development.

The R-7 rezoning is necessary to develop the property at the proposed density, and the development plan is triggered by the rezoning request per SFCC Subsection 14-4.2(E)(2). The development plan seeks to establish custom setbacks as allowed in the R-7 zone per SFCC Table 14-7.2-1, Table of Dimensional Standards for Residential Districts.

STAFF RECOMMENDATION

The Commission should RECOMMEND APPROVAL BY THE GOVERNING BODY of the rezoning to R-7 (Case #2021-4244).

The Commission should RECOMMEND APPROVAL BY THE GOVERNING BODY of the final development plan (Case #2021-4245), subject to conditions of approval and technical corrections outlined in this report, and subject to Governing Body approval of the rezoning request.

A recommendation for denial of the rezoning request would render the proposed final development plan infeasible, in which case a recommendation for denial of the final development plan would be appropriate.

APPLICANT'S PRESENTATION

Jennifer Jenkins, previously sworn, said she represented Homewise. She introduced Jamie Jaramillo and Daniel Slavin from Homewise and the remaining team. The property is about 2 acres and the Santa Fe River runs through the southern boundary. The existing compound is nine dwelling units. Homewise requests rezoning from R-5 to R-7 to add home ownership opportunities. Density is 3 - 7 dwellings per acre and the request is consistent with the general plan land use designation. She noted a recent

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property rezoned R-7 in the area and combination zoning up the hill. This complies with design standards established for the overlay standards. The site was shown with the surrounding area of existing and planned developments.

Ms. Jenkins said the goal of Homewise is to create affordable home ownership opportunities. They are working closely with existing residents wanting to purchase a home. Improvements include rebuilding the steep driveway that is not adequate for emergency access and adding retaining walls. They will ensure there is adequate parking for residents and guests. Homewise would like to add five new dwelling units, making a total of 14 units, which is the basis of the rezoning request. They are working to preserve an existing community garden and plan to create a direct connection to the River Trail. There is no pedestrian amenity so they will add a sidewalk to connect to a new sidewalk they will build on Alameda. They will also connect to sidewalk constructed along Alameda by the River Trail Walk project. With the property next to them there may be more opportunities to extend the sidewalk even further west. They will keep the existing drainage swell and make improvements to ensure it functions properly and eventually overflows into the Santa Fe River. Developed flows in ponding areas and within the swell will be maintained. Existing units will be renovated and given a facelift and brought up to code. A private grant will enable Homewise to achieve 50% affordability with the two new buildings.

Ms. Jenkins summarized the site improvements again and noted they are providing almost 15% open space or 5% over the required.

PUBLIC HEARING

Richard Rochlin, 2190 West Alameda, Unit D, was sworn. He said his comments are directed to his unit, D, which is part of a duplex. The proposal for two, two-story buildings on either side of him is cause for concern. He is interested in purchasing his unit but has only two windows in his unit and that would create a cave-like atmosphere in his unit. He read a prepared a statement stating that he wanted to put his concerns in writing and how the proposed site plan will affect his living situation. He is 71 and has lived in his unit 20 years and feels very connected to it. He has only two windows and the proposal will significantly affect the light in his unit, which is also a major source of his heat in the winter. He has expressed concerns to Homewise, and Mr. Logston has helped him understand the zoning. He expressed his concerns with Jennifer Jenkins, who was receptive and willing to discuss changes in the future. He said the Solar Rights Act fortifies solar energy rights for property owners and a provision of the Act established a solar easement. He read excerpts from the Act. He said the Legislature declared that the state recognizes economic benefits from the use of solar energy and encourages implementation when possible. He continued reading that the Legislature findings and regulations said this must be encouraged for the benefit of the state as a whole as a viable energy source. The Act was bolstered by the 2007 Definitions and Restrictions Bill and a key provision was to crack down on codes preventing homeowner's from installing solar panels. Recently, the Community Solar Act of 2021, was signed into law by the Governor.

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Mr. Rochlin said the proposed site plan would make it difficult for anyone interested in solar panels or purchasing a unit. He didn't think the laws applied to his unit but thought the spirit of the law is applicable. He added that the rezoning plan allows opportunity for the Commission to reflect on solar access and if new buildings should deny that access to older buildings.

There being no further public comments, Chair Gutierrez closed the public hearing.

COMMISSION DISCUSSION

Commissioner Pava asked Attorney Feghali to comment on solar rights.

Attorney Feghali said she understood that the state statute protects the right of an owner who has a solar collector, etc., that has been recorded. She thought in this case the law was not applicable.

Mr. Logston confirmed that Mr. Rochlin did not have a recorded, vested right and was suggesting possibly modifying the site plan in honor of the spirit of the law. The setback is 10 feet between the buildings and his unit. Mr. Rochlin was suggesting possibly shrinking the setback. Mr. Logston wasn't sure if that was realistic.

Commissioner Pava thought the site plan allowed some flexibility beyond what was suggested by Mr. Logston, but he wasn't sure if anything prohibited reconfiguring the site plan.

Ms. Jenkins said they have spent an enormous amount of time on the site plan, which has a lot of existing constraints. The new building was originally at the south end of the site, but they couldn't squeeze a driveway. There is a sewer easement, and community garden the existing residents want preserved and a 15-foot drainage easement on the west side. That makes the south end very constrained.

She said she and Mr. Rochlin discussed opportunities to play with the shape of the building since buildings 2 and 3 have not been designed yet.

Commissioner Pava confirmed buildings 2 and 3 would be two-story.

Chair Gutierrez asked if there was impact as a final development plan, that the applicant is still playing with the designs of the buildings.

Mr. Logston said generally they have to establish the square footage, and there is some room for the layout of the buildings.

Mr. Berke added they have a requirement for architectural points for the district but in addition there is flexibility for minor changes to the footprint. They are locked into square feet, but the building could be moved slightly and could be done administratively,

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if it does not affect neighboring properties or public welfare. There is also flexibility in the location of the parking layouts.

Chair Gutierrez asked if the building could be made into an L shape administratively.

Mr. Berke said yes, if added as a condition of approval.

Chair Gutierrez asked Ms. Jenkins if she was working to find a solution with Mr. Rochlin.

Ms. Jenkins indicated she had several conversations with Mr. Rochlin. She assured him as they move into the architectural design, they will look for opportunities for adjustments. She said a condition of approval is welcomed to work with Mr. Rochlin and make modifications that could be approved administratively. She asked if Mr. Berke agreed.

Mr. Berke did not agree. He said the condition would give the applicant too much leeway for disagreement, but he appreciated Ms. Jenkins willingness. The Commission has to make a specific finding in the conditions, and staff has to have clear direction of what should be done.

Daniel Slavin, 125 Sena Street, Director of Homewise, was sworn. He said they have all talked with Mr. Rochlin a number of times. He noted that the shed was because Mr. Rochlin had requested a shed and there had been a number of other modifications. They are considering changing the doors and windows of Mr. Rochlin's current location. The hope is to make this work for all of the residents and homeowners in the community, but in concert with the renovation. Mr. Rochlin's unit is a side entry that will probably come to the front and in a new development with the rehab will be in concert.

Commissioner Faulkner asked to confirm Mr. Rochlin's building will be different.

Mr. Slavin said all of the units will be rehabilitated. There is storage at the front of the building where it makes more sense to be an entry. Everything will be renovated, and light will be added where currently there is a front entry and a storage shed.

Ms. Jenkins explained the entries currently are on the south side with storage closets. Each dwelling was assessed as to what renovations made sense to improve livability, etc. A new entry on the east side is an opportunity to add windows where there are none now and gain solar.

Vice Chair Hogan said he wanted a better idea of the trail connection. He recalled a change of grade between the development area and bike path and the drainage would go down the west side. He asked if there is a drainage structure currently intersecting with the river.

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Ms. Jenkins explained there is a swell that will be better defined and slow the water velocity. Closer to the bottom there is an informal ponding area that will be improved as an energy dissipater. She introduced civil engineer Mike Gomez to talk about outflow management. She clarified that the applicant would formalize a footpath regarding the trail access, nothing is there currently.

Michael Gomez, 1599 South St. Francis Drive, was sworn. He showed the drainage plan and described the basin. All of the calculations have been done and a channel has been engineered to slow the flows under the trail into a ponding area.

Vice Chair Hogan said that answered his question. He asked if the units are rentals or would be for sale.

Mr. Slavin said currently all are rentals. Homewise wants to have homeownerships for all 14 units.

Commissioner Faulkner asked if the access point to the river will be ADA accessible.

Ms. Jenkins said there is no current accessible access, it is an informal path. They plan to make a crusher fine type surface and work closely with staff to ensure accessibility.

Mr. Berke confirmed that the trail is required to be ADA accessible.

Chair Gutierrez asked Ms. Jenkins if they have determined on the remodel, how to mitigate the displacement of people in their homes.

Ms. Jenkins said the degree of remodel for each unit is different. Some have had recent work and it is a case-by-case basis. They are working closely with the residents renting and those interested in purchasing to determine whether they need to temporarily vacate and what makes sense. People who choose not to purchase will be given plenty of time for relocation.

Chair Gutierrez asked for more information on the grant to increase affordable housing.

Mr. Slavin said a grant was received from a Santa Fean wanting to support infill. He did not know the overall budget, but the goal is 50% affordability or greater.

MOTION: In Case #2021-4244. 2190 West Alameda Street Los Canales Rezoning, Commissioner Clow moved to recommend approval to the Governing Body. Commissioner Faulkner seconded the motion.

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VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

MOTION: In Case #2021-4245. 2190 West Alameda Street Los Canales Final Development Plan, Commissioner Clow moved to recommend approval to the Governing Body. Commissioner Faulkner seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

MOTION: Commissioner Clow moved to approve the findings of Fact and Conclusions of Law in Case #2021-4244 and Case #2021-4245. Commissioner Faulkner seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

10. **Case #2021-4246. Plaza del Monte Preliminary Development Plan.** JenkinsGavin, Inc., Agent, for Plaza del Monte, LLC, Owner, requests approval of a preliminary development plan to establish development standards for 30 residential lots located at Camino Santiago and Bishop's Lodge Road. The property is zoned R-29 (Residential – twenty-nine dwelling units per acre), is within the Downtown and Eastside Historic District, and is approximately 6.62 acres. (Lee Logston, Case Manager).
11. **Case #2021-4247. Plaza del Monte Preliminary Subdivision.** JenkinsGavin, Inc., Agent, for Plaza del Monte, LLC, Owner, requests approval of a preliminary subdivision plat for 30 residential lots located at Camino Santiago and Bishop's Lodge Road. The property is zoned R-29 (Residential – twenty-nine dwelling units per acre), is within the Downtown and Eastside Historic District, and is approximately 6.62 acres. (Lee Logston, Case Manager).

EXECUTIVE SUMMARY

The proposed project is a conversion of a condominium complex into individual properties in a subdivision. Existing structures include 21 detached, single-family homes, two duplexes, three four-plexes, and one freestanding garage/carport structure. The Applicant proposes to subdivide the property into 30 lots, to include 21 existing detached homes, conversion of duplexes and four-plexes into 8 homes with attached guest units, and the creation of one new vacant lot. Planned site improvements include the creation of a pocket park, reconstruction of the two existing private roadways (Camino Santiago

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and Camino Matias), construction of sidewalks and guest parking areas, replacement of fencing, and sewer system upgrades.

In order to achieve this, in addition to the preliminary subdivision, the Applicant is proposing a development plan to establish custom dimensional standards in order to work around existing conditions and historic standards.

STAFF RECOMMENDATION

Staff recommends APPROVAL of the preliminary development plan for Case #2021-4246, subject to conditions of approval and technical corrections outlined in this report.

Staff recommends APPROVAL of the preliminary subdivision plat for Case #2020-4247, with the conditions of approval and technical corrections listed in this report.

APPLICANT'S PRESENTATION

Ms. Jenkins, previously sworn, introduced the team. She provided a presentation of the property, which is a little over 6 acres and known as a residential compound. The surrounding area was shown. She reviewed the zoning of the property and the surrounding area. An existing Santa Fe water line and a private sewer line serves the property. There are 21 small, detached homes of duplexes and four-plexes. A garage structure has been approved for demolition. This is not a condominium but is presented that way in the mapping system. The improvements will preserve the existing mature vegetation as much as possible. The owners have established historic status of contributing designation for the structures. Future renovations are required to be based on those design guidelines with review by the State Historic Preservation Office and Historic Design Review Board. Noncontributing structures still have to meet design standards but are not as limited.

The site plan was displayed. The improvements proposed include the replacement of the private sewer system, which entails a new road. They will add a sidewalk along all internal roads, which are private and will remain so. Some historic elements cannot be altered, and they want to be respectful of the character of the compound. This will put the dwellings on their own lots and create homeowner opportunities. The four-plexes will be converted to duplexes with an attached guest unit.

The duplexes will become single primary units with a guest unit and the balance will remain as is. Lots range from 6000 square feet up to 13,000 square feet. They will create one vacant lot for a new structure and establish a community park area and provide more on-street guest parking. The drivable road surface is in accordance with emergency access at 20 feet. Per the Santa Fe Homes Program, there will be six affordably priced homes with a proposed total of 30 lots in the subdivision. They are working closely with the City's water division on infrastructure improvements. They are working with residents interested in purchasing their homes through Homewise and local housing trusts. The existing residents will have 30 days before other offers are accepted.

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There are two units priced just under \$147,000; three units priced at \$190,000 and one unit priced at \$235,000.

PUBLIC HEARING

Penelope Perriman, 109 Camino Matias, was sworn. She said this has been reviewed a couple of times by the Historic Districts Review Board. She asked if this had been before the Historic Board before this meeting. She said this is a historic development developed by the Presbyterian Church in 1949 for retired ministers and missionaries. The homes around the pocket park were designed to face the park to accentuate opportunities for community. She said she opposes the development of a vacant lot that will be three times the size of the existing communal park space. There is wildlife and comforts of the country only yards away from the Plaza. She wanted to know when this would be discussed with the H-Board. She stated this is a neighborhood developed in the 1950s; it is not individual parcels. She said this proposition is new. This has always been rentals. She has not heard of a timetable or what happens to the existing tenants, of which she is one.

Ms. Jenkins said she thought the question was whether the HDRB has opined on the current applications. She explained these types of applications are within the Planning Commission and not the HDRB's jurisdiction. HDRB does not have authority over zoning or a subdivision's infrastructure improvements. She said the owner will be communicating with the HDRB a lot as renovations of units move forward. And the new home on the new lot will also go before them, but this component they do not have jurisdiction. She noted this was the beginning of the process and the schedule had not been developed yet. They will return to the Planning Commission with a final plat and development plan and then schedule the infrastructure. She said everyone will be kept informed about when that work starts, and everyone was given opportunity for a six month lease renewal. The applicant is happy to have people continue to reside there as progress moves forward. If people choose to vacate or not to purchase their unit, they will be given plenty of time to make those decisions.

There being no further public comment, Chair Gutierrez closed the public hearing.

COMMISSION DISCUSSION

Commissioner Faulkner asked if the open space proposed is adequate for the housing.

Ms. Jenkins explained this type of neighborhood has no open space requirement. They are retaining a pocket park, and these are generous lots ranging from 6,000 to 13,000 square feet. And they are next to Fort Marcy Park, so there are plenty of outdoor recreation opportunities. This complies with any applicable Code provisions.

Commissioner Faulkner said generally the word "affordable" depends on context. She asked Ms. Jenkins to review what is considered affordable.

EXHIBIT B

Ms. Jenkins said the definition of affordability came straight from the City of Santa Fe Homes Program Ordinance. The Ordinance establishes the affordability requirement and sales prices required for affordable homes. They have to provide homes within 3 income ranges. Of the 20%, 5% have to be 50-65% of annual medium income; 10% at 65 to 80% medium income; and 5% at 80 to 100%. They have to be sure that the lowest income range has to be increased. There is only one unit proposed at the highest income range. The balance of the units are the lower two income ranges based on the two-bedroom units.

Commissioner Faulkner said other developers, including Homewise, are taking advantage of density increases in other districts of the City. She asked if the goal is affordable housing, is zoning the reason this development is not as dense as it could be.

Ms. Jenkins explained the driving factor is that a vast majority of the structures have historic status and there is no space to increase density. She said R29 zoning in this location is a lost opportunity.

Commissioner Faulkner said she isn't familiar with how the HDRB does things or if changing density in historic districts is something the Planning Commission can consider. She feels that infill has to be one of the solutions to ensure density and affordability is shared throughout the City and not isolated in specific districts. She asked staff what authority the Commission has if they wanted to recommend the HDRB consider more density in this historic area.

Mr. Berke replied that the consideration of density for the historic district is more at the Council level and could be in the form of a recommendation.

Commissioner Faulkner said she understands it may not be appropriate to do a blanket policy change, but it should be considered case by case. She said as the chair for the Policy Subcommittee that is something she will suggest looking at more in depth. She doesn't want to just get rid of historic buildings but having an opportunity to look at it, case by case, especially in this area where walkability has ample access to food etc., it should be in a place where the infrastructure can handle the density already. She is concerned because they are putting density in areas that don't have amenities or adequate transportation or access to food. But in areas that have all of that, other cities permit density; we are not allowed to consider it.

Commissioner Lawrence asked to hear more about the innovative street design.

Ms. Jenkins said there are existing conditions with historic buildings. The City's lane standard applies for up to 30 buildings. That requires 42 feet of ROW; up 22 feet of drivable surface, a five-foot sidewalk and a five foot planting strip. Physically that doesn't fit and motivated the innovative street design. This provides adequate drivable surface with emergency access, pedestrian access through the site that connects the sidewalks, and some guest parking is provided where currently there is none. The retaining wall and grade changes prevent sidewalks on both sides of the street. They have created

EXHIBIT B

opportunities to connect to existing sidewalks, which is more a response and attempt to preserve the character of what already exists.

Commissioner Lawrence asked if the right-of-way will be expanded.

Ms. Jenkins said there is no ROW now, just an asphalt driveway. The road will not be significantly wider, but curb improvements and sidewalk are being added.

Commissioner Lawrence confirmed the sidewalk would connect with the adjacent property.

Commissioner Pava asked if the affordable units will be on lots 3 and 4 and 14 and 15, or if a combination thereof.

Ms. Jenkins said the final location for affordable units has not been identified. They work closely with the Affordable Housing to ensure the units are spread out and is a variety of unit types. They will identify those when they return with the final development plan and plat.

Commissioner Pava said for the record, he was on the Commission when the Manderfield School Project was approved. The units sell now for more than one million dollars each and this has some similarities. He loves that the City can require 20% affordable, but said he would venture the remaining 23 or 24 units will be advertised in the New Mexican in the one million dollar plus range. He said it is a sign of many factors and he is not pointing fingers. He preferred having these units than almost 180 units they would have if allowed to tear this down and build at R-29 zoning.

MOTION: In Case #2021-4246, Plaza del Monte Preliminary Development Plan, Commissioner Lawrence moved to approve, subject to the conditions of approval and technical corrections recommended by staff. Commissioner Clow seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

MOTION: In Case #2021-4247, Plaza del Monte Preliminary Subdivision, Commissioner Lawrence moved to approve, subject to the conditions of approval and technical corrections recommended by staff. Commissioner Clow seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

MOTION: Commissioner Lawrence moved to approve the Findings of Fact and Conclusions of Law in Case #2021-4246 and Case #2021-4247. Commissioner Clow seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Lawrence and Pava voting in favor and none voting against.

H. STAFF COMMUNICATIONS

Mr. Berke thanked the Commissioners for getting through this amount of cases. A second meeting will be on November 18th for a text amendment change. Sponsors requested it be back on the agenda. He anticipated the hearing would take longer than tonight's hearing. He asked that Commissioners who cannot be present to let him know.

Mr. Berke congratulated Commissioner Garcia for his election to the District 3 City Council seat. He said he would anticipate Commissioner Garcia most likely will resign from the Planning Commission to avoid conflicts in voting. He didn't know if there would be meetings in December.

He thanked Commissioner Pava for returning to the Commission, and patience with the technical issues.

Director Kluck welcomed Commissioner Pava and thanked Commissioners for completing all of the cases.

Commissioner Clow confirmed the Planning Commission minutes for October 21 had been approved.

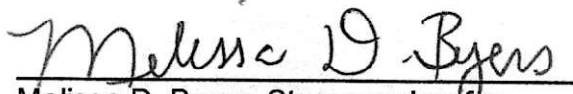
I. MATTERS FROM THE COMMISSION

Chair Gutierrez apologized for missing Commissioner Pava's speech. He acknowledged everyone's good work. He asked Mr. Berke to add the dates the cases will be heard by other bodies to the agenda.

J. ADJOURNMENT

Chair Gutierrez adjourned the meeting at 9:30 pm.

Submitted by:


Melissa D. Byers, Stenographer for
Byers Organizational Support Services

Approved by:


Brian Gutierrez, Chair

**City of Santa Fe
Governing Body
Findings of Fact and Conclusions of Law**

Case #2021-4244

2190 W. Alameda Street; Los Canales Rezoning

Owner's/Applicant's Name- Homewise, Inc.

Agent's Name- JenkinsGavin, Inc.

THIS MATTER came before the Governing Body (Governing Body) for public hearing on January 12, 2022 (Hearing) upon the application (Application) of JenkinsGavin, Inc., as agent for Homewise, Inc. (Applicant).

The Application pertains to a property located at 2190 W. Alameda Street totaling approximately 2.0 acres (Property). The Applicant requests a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential-seven dwelling units per acre).

In related Case #2021-4245, the Applicant requests final development plan approval for fourteen residential units for a property located at 2190 W. Alameda Street.

After conducting a public hearing and having heard from staff and all interested persons, the Governing Body hereby FINDS, as follows:

FINDINGS OF FACT

General

1. The Applicant requests a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential-seven dwelling units per acre) for its property located at 2190 W. Alameda Street, totaling approximately 2.0 acres.
2. SFCC 1987 Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987 §14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 §14-3.1(F)(2)(a)(iii)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 §14-3.1(H)-(I)].
3. A pre-application conference was held on June 10, 2021 in accordance with SFCC 1987 Section 14-3.1(E)(1).
4. Pursuant to SFCC 1987 Section 14-3.1(H), notice of the ENN meeting was properly given.
5. Pursuant to SFCC 1987 Section 14-3.1(F), a virtual ENN meeting was held on the Application on July 22, 2021. The ENN meeting was attended the Project team and City staff. Five current residents attended, and Homewise staff has continued to meet with and residents to address questions and concerns over improving resident collaboration in the entitlement and development process, storm water management, driveway improvements and new parking areas, storage needs, timeline for construction, and ideas for minimizing impact to residents.
6. City staff reviewed the rezoning Application, and the related materials and information submitted by the Applicant, for conformity with applicable SFCC requirements and provided

the Governing Body with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.

7. Staff recommended that the Governing Body approve the rezoning.

Rezoning

1. At the Hearing, the Governing Body considered the Application in this case concurrently with the application in Case #2021-4245, and the Governing Body received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
2. In this case, the Applicant seeks a rezoning from R-5 (Residential-five dwelling units per acre) to R-7 (Residential-seven dwelling units per acre).
3. Pursuant to SFCC 1987 Section 14-3.5(A)(1)(d), any person may submit a written request for rezoning, along with all submissions required by the SFCC 1987 Chapter 14 and any other information requested by the land use director as reasonably necessary to determine compliance with Chapter 14 (Submittal Requirements).
4. Pursuant to SFCC 1987 Section 14-2.2(A) and Section 14-3.5(B)(2), and Table 12-2.1-1, the Governing Body has the authority to review and approve rezonings.
5. SFCC 1987 Section 14-3.5(B) sets out procedures for rezoning and requires the Planning Commission to hold a public hearing, review the Application, and make a recommendation to the Governing Body.
6. The Planning Commission held a public hearing on November 4, 2021 and recommended that the Governing Body approve the Application.
7. SFCC 1987 Section 14-3.5(C) sets out approval criteria and requires the Governing Body to make complete findings of fact sufficient to show that these criteria have been met before approving a rezoning.
8. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(a)(i), the Governing Body finds that the criterion is not applicable.
9. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(a)(ii), the Governing Body finds that the criterion is not applicable.
10. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(a)(iii), the Governing Body finds that the rezoning will be more advantageous to the community, as articulated in the West Santa Fe River Corridor Plan, which recommends residential infill densities of R-5 to R-7, allowing for the efficient use of public infrastructure, increasing much-needed housing supply, and creating new affordable housing.
11. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(b), the Governing Body finds that all the rezoning requirements of Chapter 14 have been met.
12. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(c), the Governing Body finds that the proposed rezoning is consistent with the applicable policies of the general plan regarding affordable housing, sustainable growth, and community character, respecting the evolution of land use patterns while preserving community character. The Future Land Use Map designation for the parcel is 3-7 dwellings per acre, which supports the proposed R-7 zoning.
13. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(d), the Governing Body finds that the property is of sufficient size for rezoning and the proposed use for the land is consistent with city policies regarding the provision of urban land sufficient to meet the amount, rate and

geographic location of the growth of the city. The Growth Management Chapter of the General Plan promotes infill development of this density.

14. Pursuant to SFCC 1987 Section 14-3.5(C)(1)(e), the Governing Body finds that the existing and proposed infrastructure can be modified to accommodate the impacts of the proposed development. The site is served by existing roadways, public water, and public sewer infrastructure. In addition, the site is adjacent to the Santa Fe River Greenway Trail, providing access to the City's network of urban trails and open space.
15. Pursuant to SFCC 1987 Section 14-3.5(C)(2)(a), the Governing Body finds that the proposed zoning amendment will enable the construction the type of infill development that both the General Plan and the West Santa Fe River Corridor Plan specifically encourage. It represents a minimal increase in density following traditional Santa Fe acequia development style
16. Pursuant to SFCC 1987 Section 14-3.5(C)(2)(b), the Governing Body finds that at 2.0 acres, the proposed rezoning is over the two acre threshold, and is a zoning boundary adjustment.
17. Pursuant to SFCC 1987 Section 14-3.5(C)(2)(c), the Governing Body finds that the proposed rezoning will not benefit one or a few landowners at the expense of the surrounding landowners or the general public, in that the proposed project aligns well with numerous General Plan policies and principles, and is a model of the type of infill development that both the General Plan and the West Santa Fe River Corridor Plan specifically encourage.
18. Pursuant to SFCC 1987 Section 14-3.5(D)(1) & (2), the Governing Body finds that the proposed rezoning and density can be accommodated by the road and other infrastructure in the area.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Governing Body CONCLUDES as follows:

General

1. Pursuant to SFCC 1987 Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

Rezoning

1. The Applicant has the right under the SFCC to propose the rezoning of the Property.
2. The Governing Body has the power and authority at law and under the SFCC to review the proposed rezoning of the Property and to approve the proposed rezoning.
3. The Applicant met the applicable Submittal Requirements.
4. The Governing Body should approve the requested rezoning because all applicable code requirements and criteria for recommendation of approval of the proposed rezoning have been met.

WHEREFORE, IT IS ORDERED ON THE 12th DAY OF JANUARY 2022 BY THE GOVERNING BODY OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Governing Body approves the rezoning, as requested in the Application for Case #2021-4244.

Case #2021-4244
2190 W. Alameda Street; Los Canales Rezoning

Alan M. Webber
Mayor

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Erin K. McSherry
City Attorney

Date